



Planning Director Staff Report Hearing on March 7, 2024

County of Ventura • Resource Management Agency

800 S. Victoria Avenue, Ventura, CA 93009 • (805) 654-2478 • www.vcrma.org/divisions/planning

CROWN CASTLE: FIRE ROAD RIDGE WIRELESS COMMUNICAITON FACILITY CONDIONAL USE PERMIT CASE NO. PL23-0110

A. PROJECT INFORMATION

1. **Request:** The applicant requests a Conditional Use Permit (CUP) to authorize the construction and operation of a Wireless Communication Facility (WCF) for a 10-year period (Case No. PL23-0110).
2. **Applicant:** Crown Castle USA, C/O Christopher Voss, 200 Spectrum Center Drive, Suite 1700, Irvine, CA 92618
3. **Applicant's Representative:** Butler America Telecom, C/O Chris Pell, 1511 E Orangethorpe Avenue, Suite D, Fullerton, CA 92831
4. **Property Owner:** Richard and Susan Roll, 10725 Cranks Road, Culver City, CA 90230
5. **Decision-Making Authority:** Pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8105-4), the Planning Director is the decision-maker for the requested CUP.
6. **Project Site Size, Location, and Parcel Number:** The 159-acre project site is located one-mile north of 11818 Ojai Santa Paula Road, near Ojai, in the unincorporated area of Ventura County. The Tax Assessor's parcel number for the parcel that constitutes the project site is 030-0-030-580 (Exhibit 2).
7. **Project Site Land Use and Zoning Designations (Exhibit 2):**
 - a. Countywide General Plan Land Use Map Designation: Open Space
 - b. Ojai Valley Area Plan Land Use Map Designation: Open Space, 20-acre minimum lot size
 - c. Zoning Designation: AE-40 ac / SRP (Agricultural Exclusive, 40-acre minimum lot size / Scenic Resource Protection Overlay Zone)

8. Adjacent Zoning and Land Uses/Development (Exhibit 2):

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	OS-80 ac/SRP (Open Space, 80-acre minimum lot size)	Undeveloped open space
South	AE-40 ac/HCWC (Habitat Connectivity and Wildlife Corridors Overlay Zone)	Agriculture
West	AE-40 ac/SRP	Undeveloped open space, Ojai Valley School Upper Campus
East	OS-80 ac	Undeveloped open space

9. History: The project site includes three (3) existing WCFs, Crown Castle (CUP LU12-0047), Verizon (CUP LU10-0010), and Sprint/T-Mobile (CUP PL13-0139). Crown Castle is applying for CUP PL23-0110 that would authorize a fourth (4th) WCF at the project site. The remainder of the 159-acre project site is undeveloped.

10. Project Description: The applicant requests a CUP to authorize the construction and operation of a WCF for a 10-year period (Case No. PL23-0110). The proposed WCF will be designed as a stealth WCF comprised of two (2), 30-foot, monopoles with flush mounted panel antennas and a ground-mounted equipment cabinet. The proposed equipment cabinet will be installed in an existing 2,500 square-foot-fenced equipment compound (authorized by CUP LU12-0047). The proposed monopoles will be located approximately 275 feet southwest of the equipment compound. The equipment cabinet and monopoles will be connected by underground power and fiber cables routed via an existing conduit (authorized by LU12-0047).

The proposed WCF will be unmanned, except for occasional periodic maintenance visits, and would operate 24 hours per day. The WCF does not require water to operate. The site is accessed by an unpaved dirt road connected to Ojai Valley School Road (Exhibit 3).

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

The State Legislature through the Secretary for Resources has found that certain classes of projects are exempt from CEQA environmental impact review because they do not have a significant effect on the environment. These projects are declared to be categorically exempt from the requirement for the preparation of environmental impact documents. The project includes the construction of a new WCF, a small structure, and qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (New

Construction or Conversion of Small Structures) of the CEQA Guidelines. Further, the project will not trigger any of the exceptions to the exemptions listed under CEQA Guidelines Section 15300.2 and, therefore, no further environmental review is required.

C. CONSISTENCY WITH THE GENERAL PLAN AND OJAI VALLEY AREA PLAN

The proposed project has been analyzed and determined to be consistent with all applicable General Plan and Ojai Valley Area Plan policies. A consistency analysis which evaluates the project’s consistency with the policies of the General Plan and Ojai Valley Area Plan is included as Exhibit 5 of this Staff Report.

D. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the requirements of the Ventura County NCZO.

Pursuant to the requirements of the Ventura County NCZO (Section 8105-4), the proposed use is allowed in the AE zone district with the granting of a CUP. Upon the granting of the CUP, the proposed project will comply with the requirements of the Ventura County NCZO.

The proposed project is subject to the special use standards of the Ventura County NCZO (Section 8107-45.4). Table 1 lists the applicable special use standards and a description of whether the proposed project complies with the special use standards.

Table 1 – Special Use Standards Consistency Analysis

Special Use Standard	Complies?
<p>Section 8107-45.4 (a), Partial and Full-Concealment Requirements:</p> <p>To minimize visual impacts, a wireless communication facility shall be designed as a stealth facility or building-concealed facility. A wireless communication facility may be designed as a non-stealth facility only if it meets standards provided in Sec. 8107-45.4(b) below.</p>	<p>Yes. The proposed WCF is designed as a stealth monopole that is effectively camouflaged by the surrounding vegetation.</p>
<p>Section 8107-45.4 (c), Making Wireless Communication Facilities Compatible with the Existing Setting:</p> <p>To the extent feasible, all wireless communication facilities shall be located and designed to be compatible with the existing setting as follows:</p> <ul style="list-style-type: none"> (1) Location: Facilities shall be located in areas where existing topography, vegetation, buildings, or structures effectively screen and/or camouflage the proposed facility; and (2) Facility Design: The facility shall be designed (i.e. size, shape, color, and materials) to blend in with the existing topography, vegetation, buildings, and structures on the project site as well as its existing setting. 	<p>Yes. The proposed WCF is designed and sited so that the existing topography and vegetation camouflage the WCF. The project site is in a mountainous area with limited development and located approximately 2,500 feet from the nearest road.</p>
<p>Section 8107-45.4 (d), Preferred Wireless Communication</p>	<p>Yes. The proposed WCF is not</p>

Table 1 – Special Use Standards Consistency Analysis

Special Use Standard	Complies?
<p>Facility Locations:</p> <p>To the extent feasible, and in the following order of priority, new wireless communication facilities shall be sited in the following locations:</p> <ol style="list-style-type: none"> (1) On an existing wireless communication facility with adequate height and structure to accommodate additional wireless communication facilities (see Sec. 8107-45.6). (2) Flush-mounted on an existing structure, pole, or building in the AE and OS zones. (3) Where the wireless communication facility is not prominently visible from a public viewpoint. (4) Within an area zoned Industrial. (5) Near existing public or private access roads. (6) On or near the same site as an existing wireless communication facility when visual or other environmental impacts can be mitigated to a level of less than significant under CEQA and when such “clustering” of facilities is consistent with the applicable Area Plan. 	<p>prominently visible from a public viewpoint, including Reeves Road (Exhibit 7 Viewshed Analysis). Additionally, the proposed WCF is clustered on a site with three (3) other WCFs.</p>
<p>Section 8107-45.4 (f)(4)(c), Height:</p> <p>A stealth facility that exceeds 80 feet in height shall be considered a non-stealth facility for entitlement processing under Section 8107-45. However, stealth design features may be included in the wireless communication facility to blend the facility with the surrounding environment.</p>	<p>Yes. The proposed WCF is designed as two (2) stealth monopoles, 30-foot in height.</p>
<p>Section 8107-45.4 (g)(1)(2), Setbacks:</p> <ol style="list-style-type: none"> (1) All wireless communication facilities shall comply with the required minimum front, side, and rear yard setbacks for the zone in which the site is located. No portion of an antenna array shall extend beyond the property lines. (2) Ground-mounted wireless communication facilities shall be set back a distance equal to the total facility height or 50 feet, whichever is greater, from any offsite dwelling unit. 	<p>Yes. The WCF meets all setback requirements.</p>
<p>Section 8107-45.4 (j). Historical Landmarks/Sites of Merit:</p> <p>A wireless communication facility shall not be constructed, placed, or installed on a structure, site or district designated by a federal, state, or County agency as an historical landmark or site of merit unless that facility is designed to meet the Secretary of the Interior (SOI) Standards. If the facility does not meet the SOI standards, then the Cultural Heritage Board must determine that the proposed facility will have no significant, adverse effect on the historical resource.</p>	<p>Yes. The WCF is not constructed or installed on a structure, site, or district designated by a federal, state, or County agency as a historical landmark or site of merit.</p>
<p>Section 8107-45.4 (k)(1), Environmentally Sensitive Areas:</p>	<p>Yes. The proposed WCF is not located within an environmentally</p>

Table 1 – Special Use Standards Consistency Analysis

Special Use Standard	Complies?
<p>(1) All wireless communication facilities and their accessory equipment shall be sited and designed to avoid or minimize impacts to habitat for special status species, sensitive plant communities, migratory birds, waters and wetlands, riparian habitat, and other environmentally sensitive areas as determined by the County’s Initial Study Assessment Guidelines.</p>	<p>sensitive area.</p>
<p>Section 8107-45.4 (l)(1)(2), Ridgelines</p> <p>(1) A wireless communication facility shall not be sited on a ridgeline or hilltop that is prominently visible from a public viewpoint when alternative sites are available. Applicants shall demonstrate that no feasible, alternative locations are available when proposing a wireless communication facility on a ridgeline or shall demonstrate that alternative locations result in significant environmental impacts when compared to the proposed ridgeline location.</p> <p>(2) Facilities sited on a ridgeline or hillside shall blend with the surrounding natural and man-made environment to the maximum extent possible. Blending techniques that should be utilized include the use of non-reflective materials, paint, or enamel to blend exterior surfaces with background color(s); the placement of facilities behind earth berms or existing vegetation; siting of associated equipment below ridgelines, and the use of small stealth facilities (such as slim line poles or whip antennas) that blend in with the surrounding vegetation.</p>	<p>Yes.</p> <p>(1) The applicant completed an alternative site analysis documenting that no feasible alternative locations are available. Additionally, the proposed WCF is not prominently visible from a public viewpoint, including Reeves Road, as the WCF is effectively camouflaged by the topography and existing vegetation (Exhibit 7).</p> <p>(2) The proposed project is conditioned to require that the WCF is painted to blend in with the surrounding natural environment and rock formations (Exhibit 6, Condition No. 22). Additionally, the accessory equipment is proposed to be sited below the ridgeline in an existing compound.</p>
<p>Section 8107-45.4 (n), Accessory Equipment:</p> <p>All accessory equipment associated with the operation of a wireless communication facility shall be located and screened to prevent the facility from being prominently visible from a public viewpoint to the maximum extent feasible.</p>	<p>Yes. The accessory equipment is located within a fenced enclosure that is located below the ridgeline and screened by existing vegetation. The WCF is not prominently visible from a public viewpoint, including Reeves Road (Exhibit 7, Viewshed Analysis).</p>
<p>Section 8107-45.4 (o), Colors and Materials:</p> <p>All wireless communication facilities shall use materials and colors that blend in with the natural or man-made surroundings. Highly reflective materials are prohibited.</p>	<p>Yes. The proposed project is conditioned to require that the WCF is painted to blend in with the surrounding natural environment and rock formations. No reflective materials will be used (Exhibit 6, Condition No. 22).</p>
<p>Section 8107-45.4 (p), Noise:</p>	<p>Yes. The proposed WCF will be located on a ridgeline surrounded by</p>

Table 1 – Special Use Standards Consistency Analysis

Special Use Standard	Complies?
<p>All wireless communication facilities shall be operated and maintained to comply at all times with the noise standards outlined in Section 2.16 of the Ventura County General Plan Goals, Policies, and Programs.</p>	<p>undeveloped open space and approximately 3,000 feet from the closest agriculture operation, a citrus orchard to the southwest. The nearest noise sensitive receptor, a single-family residence, is approximately 3,000 feet from the proposed WCF. At this distance the WCF would not exceed the noise standards set forth in the General Plan Policy HAZ-9,2 Noise Compatibility Standards.</p>
<p>Section 8107-45.4 (q), Landscaping and Screening:</p> <p>The permittee shall plant, irrigate and maintain additional landscaping during the life of the permit when landscaping is deemed necessary to screen the wireless communication facility from being prominently visible from a public viewpoint. New landscaping shall not incorporate any invasive species or watch species, as defined by the California Invasive Plant Council (Cal-IPC) and shall be in conformance with Section 8106-8.2.5. (AM. ORD. 4577 – 3/9/21)</p>	<p>Yes. No landscaping or screening is required. The proposed WCF will be effectively screened by the topography and existing vegetation.</p>
<p>Section 8107-45.4 (r), Security:</p> <ul style="list-style-type: none"> (1) Each facility shall be designed to prevent unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations or visual blight. The approving authority may require the provision of warning signs, fencing, anti-climbing devices, or other techniques to prevent unauthorized access and vandalism. (2) All fences shall be constructed of materials and colors that blend in with the existing setting. The use of a chain link fence is prohibited within areas designated as Urban and Existing Community in the General Plan, and areas that are prominently visible from a public viewpoint, unless the chain link fence is fully screened. 	<p>Yes. The proposed WCF includes signage deterring access to the site. Additionally, the proposed equipment cabinet will be located in an existing 2,500 square-foot-fenced equipment compound. Furthermore, the proposed WCF is not prominently visible from a public viewpoint, including Reeves Road (Exhibit 7, Viewshed Analysis). Finally, the project site is not located in area designated as Urban and Existing Community in the General Plan.</p>
<p>Section 8107-45.4 (s), Lighting:</p> <ul style="list-style-type: none"> (1) No facility may be illuminated unless specifically required by the FAA or other government agency. (2) Any necessary security lighting shall be down-shielded and controlled to minimize glare or light levels directed at adjacent properties and to minimize impacts to wildlife. 	<p>Yes. The proposed WCF is not illuminated.</p>
<p>Section 8107-45.4 (t), Signage:</p> <p>A permanent, weather-proof identification sign, subject to Planning Director approval, shall be displayed in a prominent location such as on the gate or fence surrounding the wireless</p>	<p>Yes. The proposed WCF includes signage indicating all necessary information related to the operation of the facility.</p>

Table 1 – Special Use Standards Consistency Analysis

Special Use Standard	Complies?
communication facility or directly on the facility. The sign must identify the facility operator(s) and type of use, provide the operator’s address, FCC-adopted standards, and specify a 24-hour telephone number at which the operator can be reached during an emergency.	
<p>Section 8107-45.4 (u), Access Roads:</p> <p>(1) Where feasible, wireless communication facility sites shall be accessed by existing public or private access roads and easements.</p> <p>(2) Wireless communication facility sites shall minimize the construction of new access roads, particularly when such roads are located in areas with steep slopes, agricultural resources, or biological resources as determined by the County’s Initial Study Assessment Guidelines. When required, new access roads shall be designed to meet standards established by the Ventura County Public Works Agency and Ventura County Fire Protection District.</p>	<p>Yes. The site is accessed by an unpaved private dirt road connected to Ojai Valley School Road.</p>

The proposed project is located within a Scenic Resources Protection Overlay Zone and, therefore, is subject to the standards of NCZO Section 8109-4.1. Table 2 lists the applicable Scenic Resource Protection Overlay Zone standards and a description of whether the proposed project complies with those standards.

Table 2 – Scenic Resource Protection Overlay Zone Standards Consistency Analysis

Overlay Zone Standard	Complies?
<p>Sec. 8109-4.1.5 – Development Standards</p> <p>a. All discretionary development shall be sited and designed to:</p> <ol style="list-style-type: none"> 1. Prevent significant degradation of a scenic view or vista; 2. Minimize alteration of the natural topography, physical features, and vegetation; 3. Utilize native plants indigenous to the area for re-vegetation of graded slopes, where appropriate considering the surrounding vegetative conditions; 4. Avoid silhouetting of structures on ridge tops that are within public view; 5. Use materials and colors that blend with the natural surroundings and avoid materials and colors that are highly reflective or that contrast with the surrounding vegetation and terrain, such as large un-shaded windows, light colored roofs, galvanized metal, and white or brightly 	<p>Yes.</p> <p>a1. The proposed WCF is designed and sited so that the topography and existing vegetation effectively camouflage the WCF. The proposed WCF will not significantly degrade a scenic view or vista and is not prominently visible from a public viewpoint, including Reeves Road (Exhibit 7, Viewshed Analysis).</p> <p>a2. The proposed WCF will be sited on previously disturbed areas. The proposed accessory equipment will be located within an existing and previously permitted fenced equipment compound that includes accessory equipment for other WCFs on the project site. Additionally, the proposed WCF tower will be located in an area that includes other WCFs.</p>

Table 2 – Scenic Resource Protection Overlay Zone Standards Consistency Analysis

Overlay Zone Standard	Complies?
colored exteriors. 6. Minimize lighting that causes glare, illuminates adjacent properties, or is directed skyward in rural areas. b. All on-site freestanding advertising, identification and non-commercial message signs in excess of five feet in height and all off-site advertising signs are prohibited in the SRP Overlay Zone.	a3. There is no re-vegetation proposed with this project. a4. The proposed WCF is camouflaged from public viewpoints by the topography and existing vegetation. a5. The proposed project is conditioned to require that the WCF is painted to blend in with the surrounding natural environment and rock formations (Exhibit 6, Condition No. 22). a6. The proposed WCF is not illuminated. b. No free standing signage is proposed with the project.

E. CUP FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings to approve an application for a CUP pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO. The ability to make the required findings is evaluated below.

1. The proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code [Section 8111-1.2.1.1.a].

Based on the information and analysis presented in Section D and Exhibit 5 of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's General Plan and Ojai Valley Area Plan and of Division 8, Chapters 1 and 2, of the Ventura Ordinance Code can be made.

2. The proposed development is compatible with the character of surrounding, legally established development [Section 8111-1.2.1.1.b].

The proposed project involves the construction of a new WCF. The proposed WCF will be located on a project site with three (3) other WCFs and is effectively screened from public viewpoints, including Reeves Road, by the topography and existing vegetation (Exhibit 7, Viewshed Analysis). The surrounding properties are comprised of agricultural uses and undeveloped open space.

Based on the discussion above, this finding can be made.

3. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8111-1.2.1.1.c].

The WCF does not generate substantial noise or pose a health threat. No adverse effect on neighboring property or uses has been identified. Additionally, the project is conditioned to identify a contact person for the timely resolution of complaints (Exhibit 6, Condition Nos. 16, 17).

Based on the discussion above, this finding can be made.

4. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8111-1.2.1.1.d].

The construction and operation of the proposed WCF would not have an adverse effect on the use of surrounding properties. In any case, the Permittee will be required to identify a contact person for the timely resolution of complaints and the reporting of all major incidents so as to prevent a recurrence of such an incident (Exhibit 6, Condition No. 16, 17). Additionally, the project will include conditions of approval to ensure that the proposed use, storage, and handling of hazardous materials will be in conformance with all applicable County and state regulations (Exhibit 6, Condition No. 26).

Based on the discussion above, this finding can be made.

5. The proposed development, if allowed by a Conditional Use Permit, is compatible with existing and potential land uses in the general area where the development is to be located [Section 8111-1.2.1.1.e].

The proposed WCF is compatible with the surrounding undeveloped open space and agricultural land uses. Designed as a stealth monopole, the proposed WCF blends in with the topography and surrounding vegetation. No effects on existing or potential land uses would occur with the issuance of this CUP.

Based on the discussion above, this finding can be made.

6. The proposed development will occur on a legal lot [Section 8111-1.2.1.1f].

APNs 030-0-030-550, 030-0-030-570, 030-0-030-580, and 030-0-030-590 combined are one legal lot. APNs -550, -570, and -590 are cell site lease areas with a different tax rate from the remainder of the lot. The original lot, APN 030-0-030-040, has been split multiple times since the three (3) WCFs were approved and constructed. However, the configuration of the entire 159-acre lot has remained unchanged since it was legally created by a grant deed recorded on May 7, 1951 in Book 997, Page 490 of Official Records, in the Office of the Recorder, County of Ventura, in compliance with the Subdivision Map Act.

Based on the discussion above, this finding can be made.

7. The proposed development is approved in accordance with the California Environmental Quality Act and all other applicable laws.

As discussed in Section B above, the CUP involves the construction and use of a new WCF on the subject property. The project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.

Based on the discussion above, this finding can be made.

8. The establishment or maintenance of this use will not significantly reduce, restrict or adversely affect agricultural resources or the viability of agricultural operations in the area [Section 8111-1.2.1.2.a].

The proposed project is located on a ridgeline surrounded by undeveloped open space. The issuance of this CUP would not reduce, restrict, or adversely affect agricultural resources in the area.

Based on the discussion above, this finding can be made.

9. The structures will be sited to minimize conflicts with agriculture, and other uses will not significantly reduce, restrict or adversely affect agricultural activities on-site or in the area, where applicable [Section 8111-1.2.1.2.b].

The proposed WCF occupies a small portion of the subject site. Additionally, the proposed WCF will be sited on a ridgeline approximately 3,000 feet from the closest agriculture operation, a citrus orchard to the southwest.

Based on the discussion above, this finding can be made.

10. The use will be sited to remove as little land from agricultural production (or potential agricultural production) as possible [Section 8111-1.2.1.2.c].

No land for agricultural production will be removed as part of this project.

Based on the discussion above, this finding can be made.

11. Development within any overlay zone having specific development standards must comply with such standards [Section 8111-1.2.1.4 and Article 9].

The proposed project complies with the standards of the Scenic Resource Protection Overlay Zone as described above in Section D, Table 2.

Based on the discussion above, this finding can be made.

F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), Ventura County NCZO (Section 8111-3.1). On February 23, 2024, the Planning Division mailed notice to owners of property within 1,000 feet of the property on which the project site is located. On February 23, 2024, the Planning Division placed a legal ad in the *Ventura County Star* and *Ojai Valley News*. As of the date of this document, no comments have been received.

The project site is located within the City of Ojai Area of Interest. On January 2, 2024, the County of Ventura Planning Division notified the City of Ojai of the proposed project and requested the City of Ojai to provide written comment. On January 4, 2024, Lucas Seibert, the City of Ojai's Community Development Director, responded noting the City of Ojai did not have any comments on the proposed project.

G. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process.
2. **FIND** that this project is categorically exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
3. **MAKE** the required findings to grant a CUP pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO, based on the substantial evidence presented in Section E of this staff report and the entire record.
4. **APPROVE** the application for a CUP (Case No. PL23-0110), subject to the conditions of approval (Exhibit 6).
5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally

approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact AJ Bernhardt at (805) 654-3136 or AJ.Bernhardt@ventura.org.

Prepared by:



AJ Bernhardt, Case Planner
Commercial/Industrial Permits Section
Ventura County Planning Division

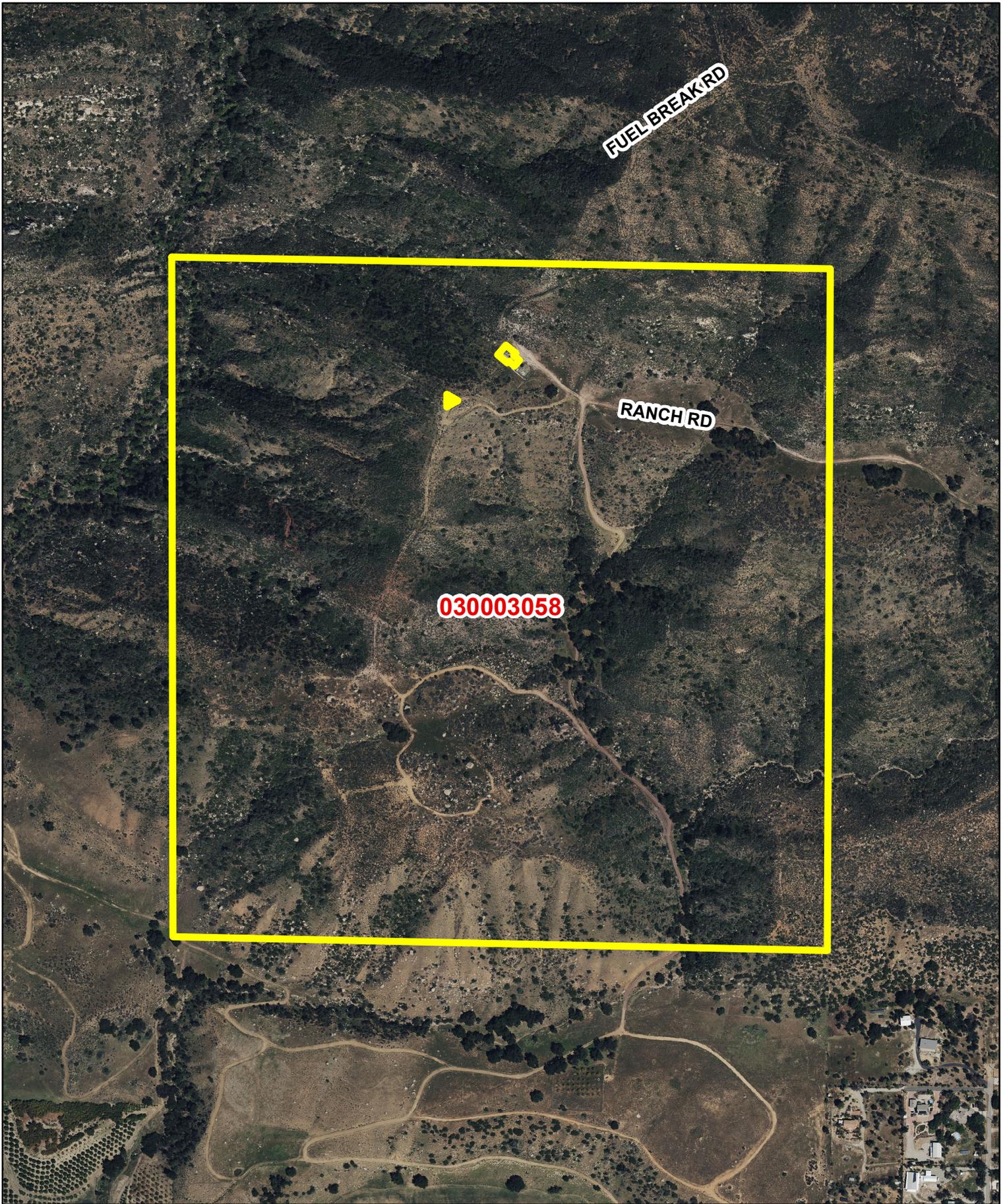
Reviewed by:



Susan Curtis, Assistant Director
Ventura County Planning Division

EXHIBITS

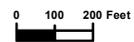
- Exhibit 2 Maps
- Exhibit 3 Site Plans
- Exhibit 4 Photo Simulations
- Exhibit 5 General Plan and Ojai Valley Area Plan Consistency Analysis
- Exhibit 6 Conditions of Approval
- Exhibit 7 Viewshed Analysis



Ventura County, California
Resource Management Agency
GIS Development & Mapping Services
Map Created on 1-29-2024
Source: Vexcel 2022



**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 2 - Maps**



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.





**County of Ventura
 Planning Director Hearing
 Case No. PL23-0110
 Exhibit 2 - Maps**

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map created on 1-29-2024

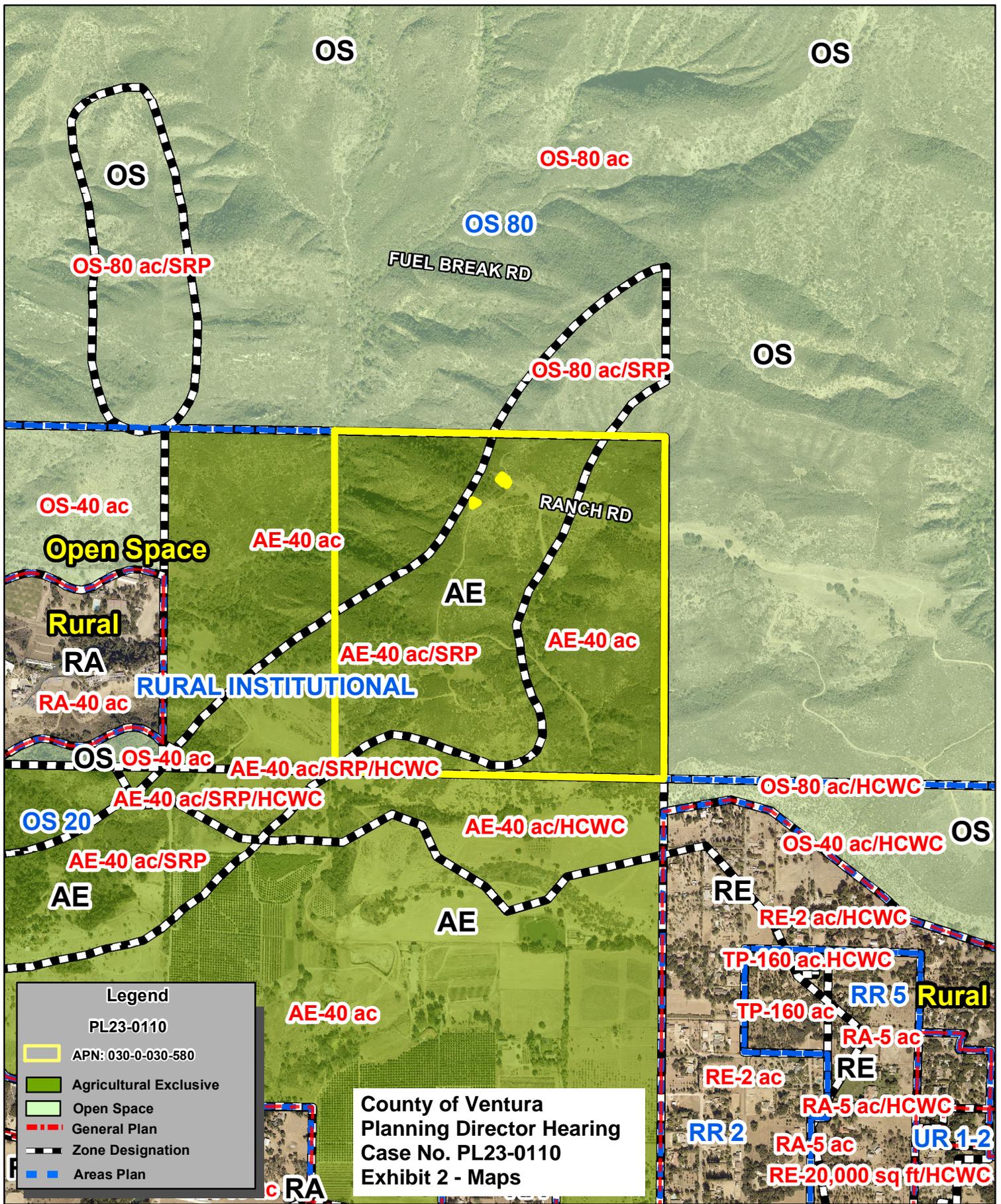


**County of Ventura
 Planning Director Hearing
 APN: 030-0-030-580
 PL23-0110
 Location Map**



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map nor does it make any decision involving a risk of economic loss or physical injury should be made in reliance thereon.



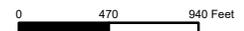


County of Ventura
 Planning Director Hearing
 Case No. PL23-0110
 Exhibit 2 - Maps

Legend

- PL23-0110
- APN: 030-0-030-580
- Agricultural Exclusive
- Open Space
- General Plan
- Zone Designation
- Areas Plan

County of Ventura
 Planning Director Hearing
 APN: 030-0-030-580
 PL23-0110
 General Plan & Zoning Map



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Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map Created on 1-29-2024
 This aerial imagery is under the
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 Source: Pictometry, 2019





DISH Wireless L.L.C. SITE ID:
LALAX02078A

DISH Wireless L.L.C. SITE NAME:
FIRE ROAD RIDGE

DISH Wireless L.L.C. SITE ADDRESS:
**11818 OJAI/SANTA PAULA ROAD
OJAI, CA 93023**

CALIFORNIA CODE OF COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES

CODE TYPE	CODE
BUILDING	2022 CALIFORNIA BUILDING CODE (CBC)/2021 IBC
MECHANICAL	2022 CALIFORNIA MECHANICAL CODE (CMC)/2021 UMC
ELECTRICAL	2022 CALIFORNIA ELECTRICAL CODE (CEC)/2019 NEC

SHEET INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL AND ENLARGED SITE PLAN
A-2	ANTENNA LAYOUT AND SCHEDULE
A-2.1	ELEVATION
A-3	EQUIPMENT PAD AND H-FRAME DETAILS
A-4	EQUIPMENT DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL ONE-LINE, FAULT CALCS & PANEL SCHEDULE
E-4	PPC NEUTRAL-TO-GROUND SCHEMATIC
G-1	GROUNDING PLANS AND NOTES
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G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- TOWER SCOPE OF WORK:**
- INSTALL (2) PROPOSED MONOPOLES
 - INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR)
 - INSTALL (3) PROPOSED ANTENNA FLUSH MOUNTS
 - INSTALL PROPOSED JUMPERS
 - INSTALL (6) PROPOSED RIRLs (2 PER SECTOR)
 - INSTALL (1) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP)
 - INSTALL (1) PROPOSED HYBRID CABLE

- GROUND SCOPE OF WORK:**
- INSTALL (1) PROPOSED CONCRETE PAD
 - INSTALL (1) PROPOSED CABLE TRAY
 - INSTALL (1) PROPOSED PPC CABINET
 - INSTALL (1) PROPOSED EQUIPMENT CABINET
 - INSTALL (1) PROPOSED POWER CONDUIT
 - INSTALL (1) PROPOSED TELCO CONDUIT
 - INSTALL (1) PROPOSED TELCO-FIBER BOX
 - INSTALL (1) PROPOSED GPS UNIT
 - INSTALL (1) PROPOSED SAFETY SWITCH (IF REQUIRED)
 - INSTALL (1) PROPOSED FIBER HD (IF REQUIRED)
 - INSTALL (1) PROPOSED METER SOCKET

SITE PHOTO



UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF CALIFORNIA
(800) 422-4133
WWW.CALIFORNIA811.ORG
CALL 2-14 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION



GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

SITE INFORMATION

PROPERTY OWNER: C/O CROWN CASTLE INVESTMENT CORP
ADDRESS: PO BOX 203469 HOUSTON, TX 77216-3469
TOWER TYPE: MONOPOLE
TOWER CO SITE ID: 845322
TOWER APP NUMBER: 643037
COUNTY: VENTURA
LATITUDE (NAD 83): 34° 27' 13.64" N 34.45378889
LONGITUDE (NAD 83): 119° 8' 58.95" W -119.14670630
ZONING JURISDICTION: COUNTY OF VENTURA
ZONING DISTRICT: AE-40
PARCEL NUMBER: 030-0-030-560
OCCUPANCY GROUP: U
CONSTRUCTION TYPE: II-B
POWER COMPANY: SOUTHERN CALIFORNIA EDISON
TELEPHONE COMPANY: ATT

PROJECT DIRECTORY

APPLICANT: DISH Wireless L.L.C. 18812 ARMSTRONG AVE SUITE 200 IRVINE, CA 92603
TOWER OWNER: CROWN CASTLE 2000 CORPORATE DRIVE CANONSBURG, PA 15317 (877) 468-9377
SITE DESIGNER: RELIANT LAND SERVICES 550 N. PARKCENTER DR, STE 200 SANTA ANA, CA 92705 (714) 665-0123
SITE ACQUISITION: SYLVETTE CUEZONIE SYLVETTE.CUEZON@CROWNCastle.COM
CONSTRUCTION MANAGER: FRANCISCO ZAPIEN FRANCISCO.ZAPIEN@DISH.COM
RF ENGINEER: CRAIG STANZIANO CRAIG.STANZIANO@DISH.COM

DIRECTIONS

DIRECTIONS FROM DISH Wireless L.L.C. OFFICE/AIRPORT/DOWNTOWN:
TURN LEFT ONTO ARMSTRONG AVE, TURN RIGHT ONTO ALTON PKWY, TURN LEFT ONTO RED HILL AVE, TURN RIGHT ONTO MACHARTHUR BLVD, TURN RIGHT TO MERGE ONTO CA-55 N/STATE RTE 55 N TOWARD RIVERSIDE, MERGE ONTO CA-56 N/STATE RTE 55 N, USE THE RIGHT 2 LANES TO TAKE EXIT 10B TO MERGE ONTO I-5 N TOWARD SANTA ANA, KEEP RIGHT AT THE FORK TO STAY ON I-5 N, FOLLOW SIGNS FOR INTERSTATE 5 N/SACRAMENTO, TAKE EXIT 158A FOR ROXFORD ST E TOWARD SYLMAR, TURN LEFT ONTO ROXFORD ST, ROXFORD ST TURNS RIGHT AND BECOMES N SEPULVEDA BLVD, USE ANY LANE TO TURN LEFT ONTO SAN FERNANDO RD, TURN RIGHT ONTO SIERRA HWY, TURN LEFT TO MERGE ONTO I-5 N, USE THE RIGHT 2 LANES TO TAKE EXIT 172 FOR CA-126 W/NENHALL BARCH RD, TURN LEFT ONTO CA-126 W, USE THE RIGHT LANE TO TAKE THE CA-150/10TH ST RAMP TO SANTA PAULA, TURN RIGHT ONTO CA-150 W/S 10TH ST, CONTINUE TO FOLLOW CA-150 W, TURN RIGHT ONTO SISAR RD, CONTINUE STRAIGHT ONTO SISAR CANYON RD, SLIGHT LEFT ONTO FUEL BREAK RD, TURN RIGHT TO STAY ON FUEL BREAK RD, DESTINATION WILL BE ON THE RIGHT

VICINITY MAP



16812 ARMSTRONG AVE
IRVINE, CA 92603



550 N. PARKCENTER DR STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH (714) 665-0123 FAX (714) 665-9872



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NN	DJL	DJL
RFDS REV #:		0

CONSTRUCTION DOCUMENTS

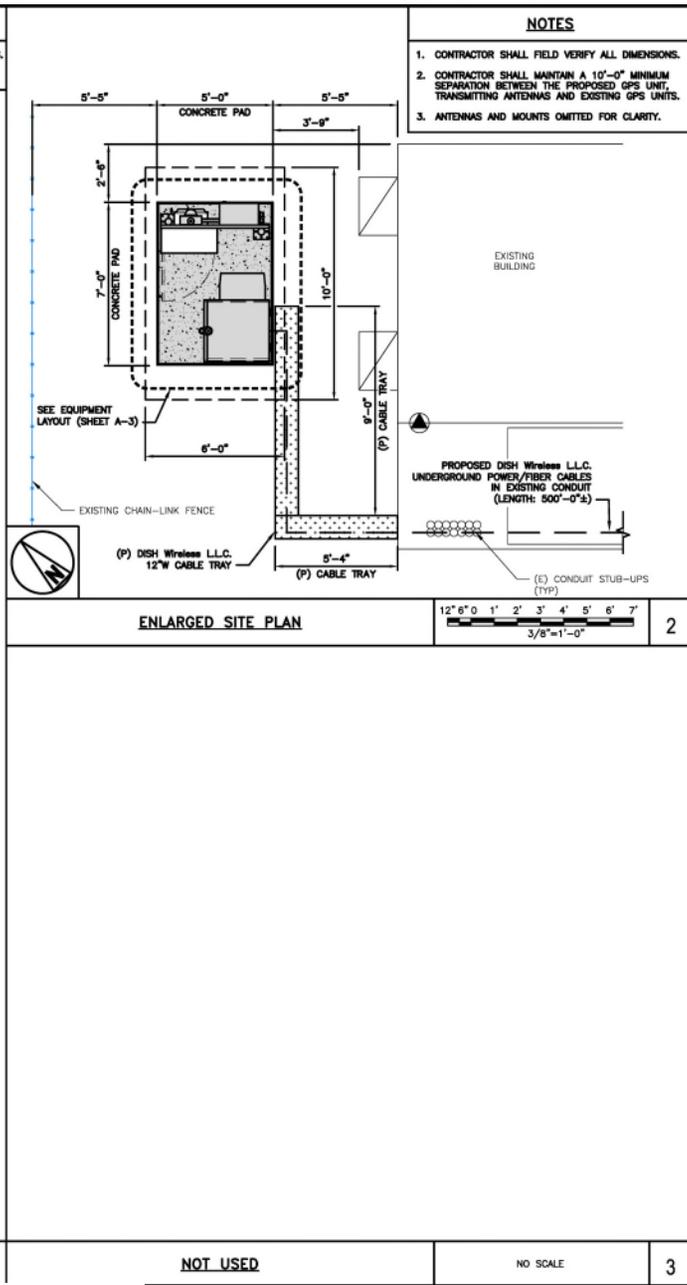
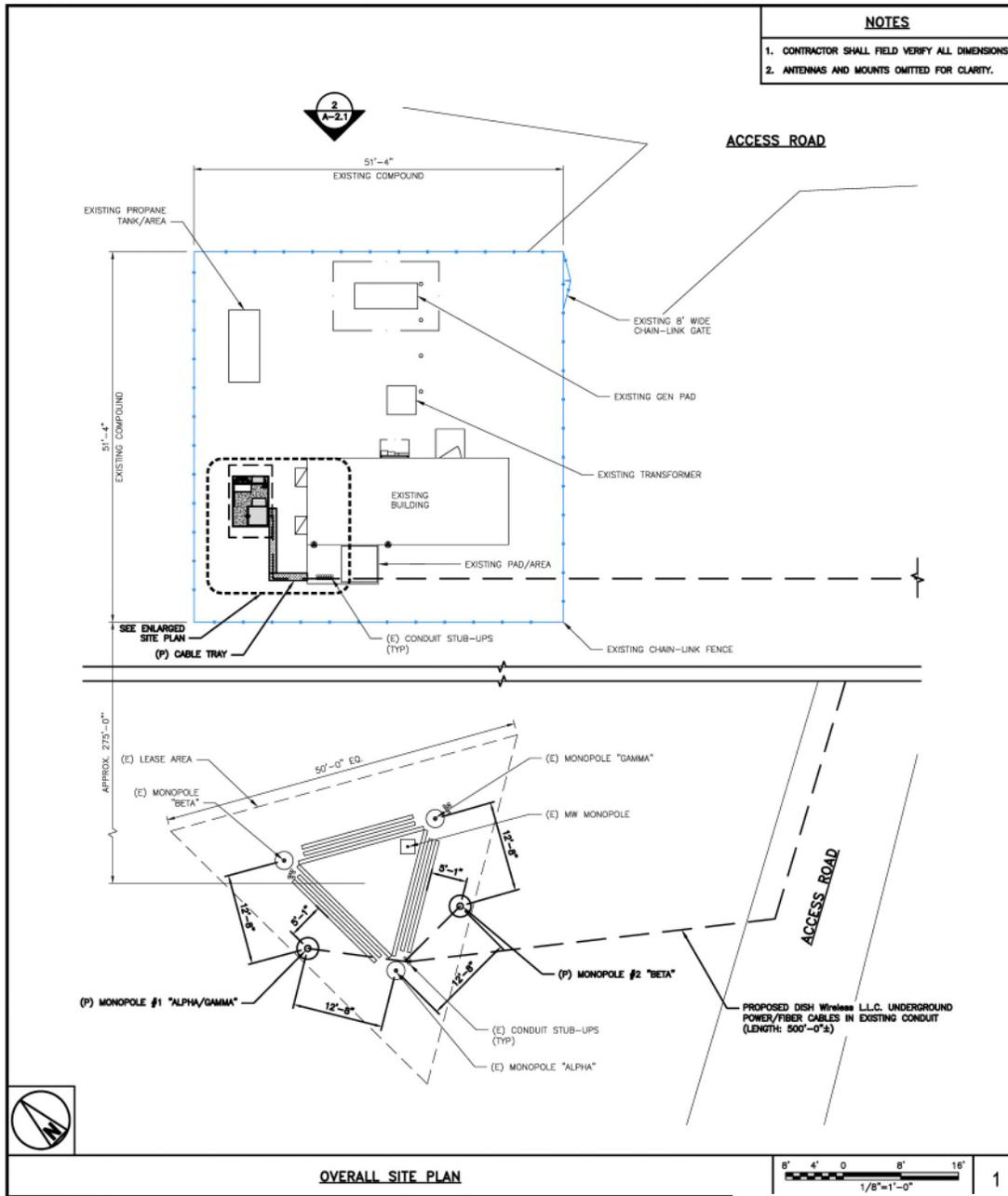
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REV	DATE	DESCRIPTION
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A&E PROJECT NUMBER
845322
DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**



dish wireless.

16812 ARMSTRONG AVE
IRVINE, CA 92603

RLS
RELIANT LAND SERVICES
501 PARKCENTER DR STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH (714) 465-0133 FAX (714) 465-8892

REGISTERED PROFESSIONAL ENGINEER
JENNIFER S. LEE
No. 61054
Exp. 12/31/24
STATE OF CALIFORNIA

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SHEET TITLE
OVERALL AND ENLARGED
SITE PLAN

SHEET NUMBER
A-1



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IRVINE, CA 92603



5019 PACIFIC CENTER DR STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH: (714) 465-0123 FAX: (714) 465-8892



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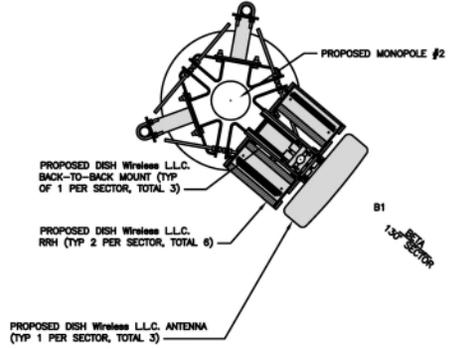
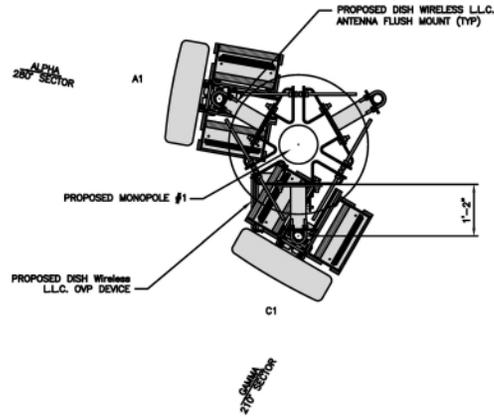
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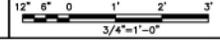
DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
ANTENNA LAYOUT AND SCHEDULE

SHEET NUMBER
A-2



ANTENNA LAYOUT



2

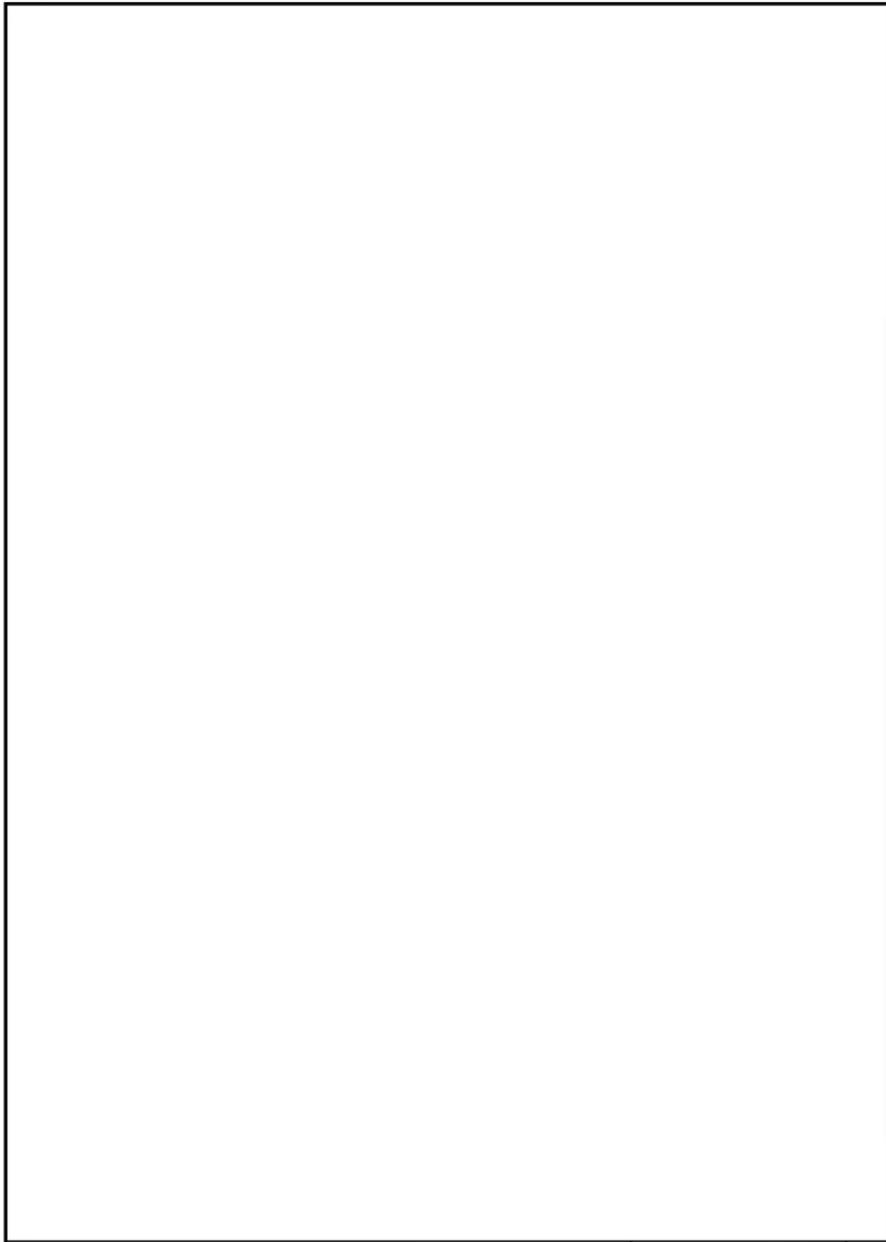
SECTOR POS.	EXISTING OR PROPOSED	ANTENNA				FEED LINE TYPE AND LENGTH	RRH				OVP MANUFACTURER MODEL
		MANUFACTURER - MODEL NUMBER	TECH	AZIMUTH	RAD CENTER		MANUFACTURER - MODEL NUMBER	TECH	POS.		
A1	PROPOSED	CELLMAX CX12045X	5G	280°	28°-0"	(3) POWER CABLES & (3) FIBER CABLES (500' LONG)	SAMSUNG - RF4450L-71A	5G	A1	RAYCAP RDCC-3045-PF-48	
A2	---	---	---	---	---		SAMSUNG - RF4451d-70A	5G	A1		
A3	---	---	---	---	---		---	---	---		
B1	PROPOSED	CELLMAX CX12045X	5G	130°	28°-0"	SHARED W/ALPHA	SAMSUNG - RF4450L-71A	5G	B1	SHARED W/ALPHA	
B2	---	---	---	---	---		SAMSUNG - RF4451d-70A	5G	B1		
B3	---	---	---	---	---		---	---	---		
C1	PROPOSED	CELLMAX CX12045X	5G	210°	28°-0"	SHARED W/ALPHA	SAMSUNG - RF4450L-71A	5G	C1	SHARED W/ALPHA	
C2	---	---	---	---	---		SAMSUNG - RF4451d-70A	5G	C1		
C3	---	---	---	---	---		---	---	---		

NOTES
 1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS.
 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.

ANTENNA SCHEDULE

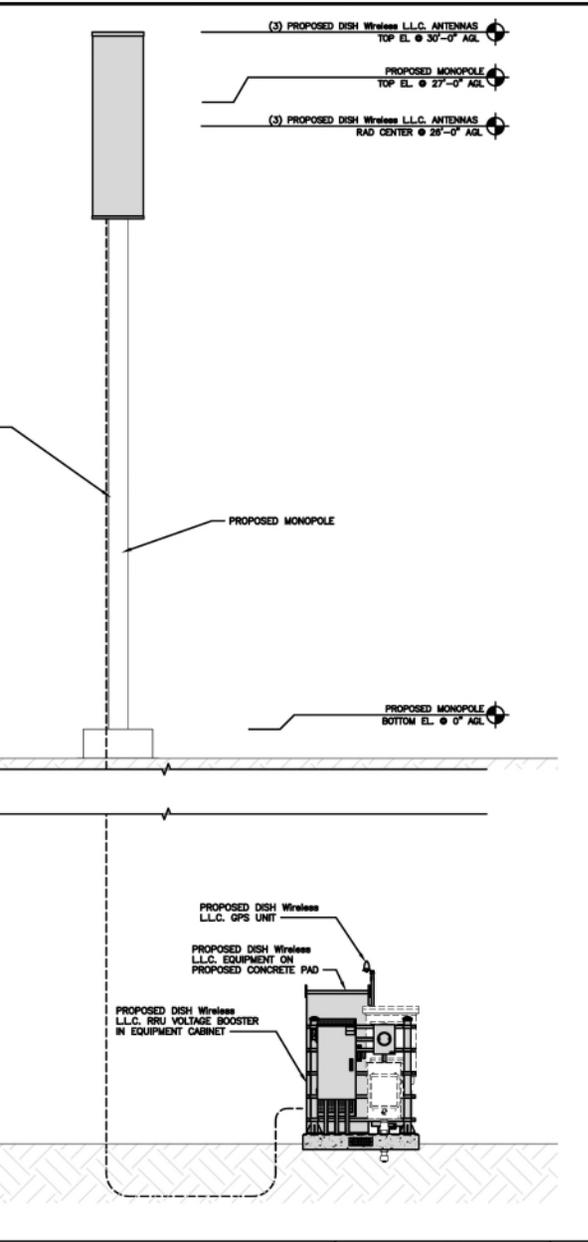
NO SCALE 1





- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. ANTENNA AND MW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS
 3. EXISTING EQUIPMENT AND FENCE OMITTED FOR CLARITY.

- (1) PROPOSED DISH Wireless L.L.C. POWER CABLE &
 (1) PROPOSED DISH Wireless L.L.C. FIBER CABLE
 ROUTED OUTSIDE POLE



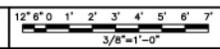
- (3) PROPOSED DISH Wireless L.L.C. ANTENNAS
TOP EL. @ 30'-0" AGL
- PROPOSED MONOPOLE
TOP EL. @ 27'-0" AGL
- (3) PROPOSED DISH Wireless L.L.C. ANTENNAS
RAD CENTER @ 28'-0" AGL

- PROPOSED MONOPOLE

EXISTING HILLTOP

PROPOSED MONOPOLE
BOTTOM EL. @ 0' AGL

- PROPOSED DISH Wireless L.L.C. GPS UNIT
- PROPOSED DISH Wireless L.L.C. EQUIPMENT ON PROPOSED CONCRETE PAD
- PROPOSED DISH Wireless L.L.C. RRU VOLTAGE BOOSTER IN EQUIPMENT CABINET
- EXISTING VALLEY FLOOR



NOT USED

NO SCALE | 1

PROPOSED NORTH ELEVATION

2

dish wireless.
 16812 ARMSTRONG AVE
 IRVINE, CA 92603

RLS
 RELIANT LAND SERVICES
 501 PARK CENTER DR STE 200 SANTA ANA, CA 92705
 WWW.RLSUSA.COM PH (714) 465-0123 FAX (714) 463-8892



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RFDS REV #: 0

CONSTRUCTION DOCUMENTS

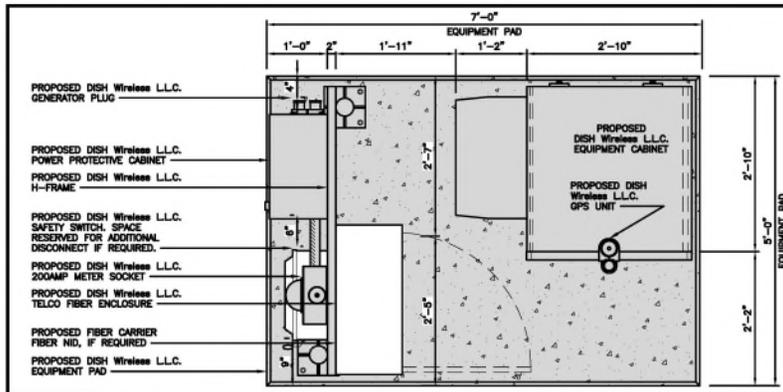
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A&E PROJECT NUMBER
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DISH Wireless L.L.C. PROJECT INFORMATION
 LALAX02078A
 11818 OJAI/SANTA PAULA RD
 OJAI, CA 93023

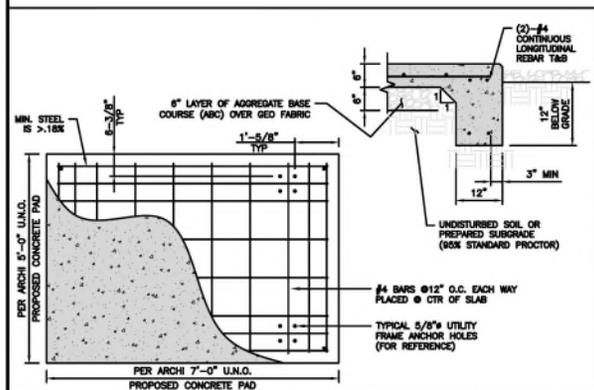
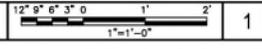
SHEET TITLE
 ELEVATION

SHEET NUMBER
A-2.1



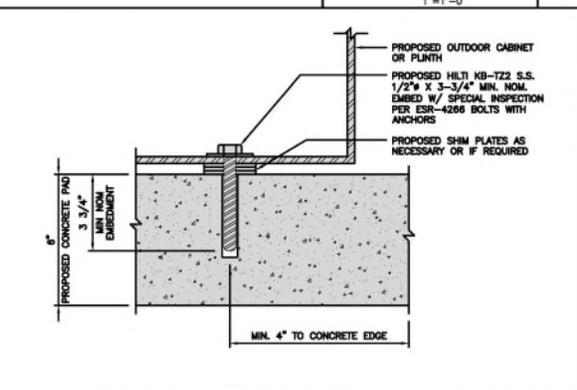
PAD EQUIPMENT PLAN

- NOTES**
1. INSTALL POSTS BASES TO GRATING JUST INSIDE PLATFORM FRAME. NO DRILLING REQUIRED.
 2. GPS MAY BE MOVED TO ICE BRIDGE OR H-FRAME.
 3. ALL CONDUIT TO BE ROUTED THROUGH PLATFORM GRATING USING LIQUIDTIGHT, EMT, RIGID OR PVC COUPLERS. CONDUIT QUANTITY AND SIZES ARE PER ONE-LINE DIAGRAM ON E-3 SHEET OF CDS. (DC PLANT DEPENDENT.)
 4. CONTRACTOR MAY FIELD INSTALL CONDUIT HOLES IN BOTTOM OF PPC CABINET TO MATCH CONDUIT SIZES. (SEAL TO PPC MANUFACTURER SPECIFICATIONS).
 5. H-FRAME POSTS ARE STAGGERED TO ALLOW FIBER NID BOXES TO BE INSTALLED CLOSE TO PERIMETER FRAME OF PLATFORM.
 6. CONDUITS FROM PPC/FIBER DEMARK CABINETS TO EQUIPMENT CABINET (BBU) SHALL BE INSTALLED INSIDE PERIMETER OF PLATFORM AND UNDER GRATING.



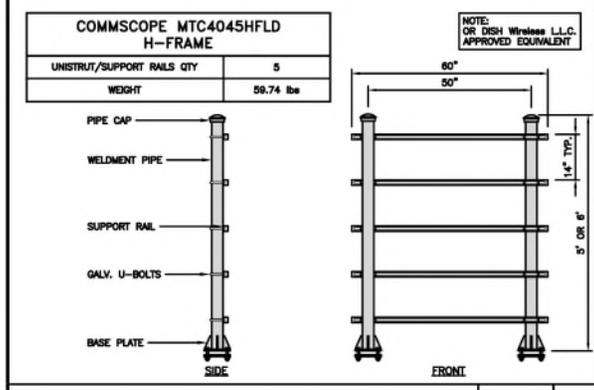
CONCRETE PAD WITH FOOTERS DETAIL

NO SCALE 2



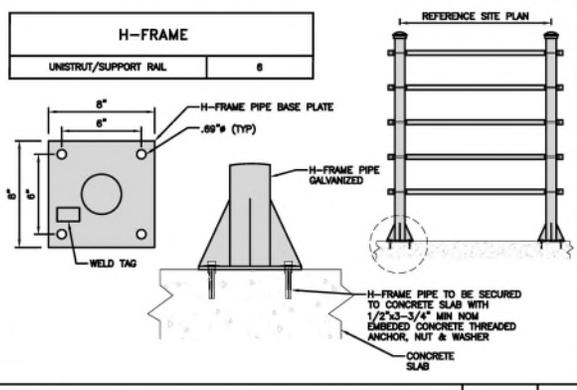
TYPICAL OUTDOOR EQUIPMENT TO CONCRETE SLAB ANCHORAGE

NO SCALE 3



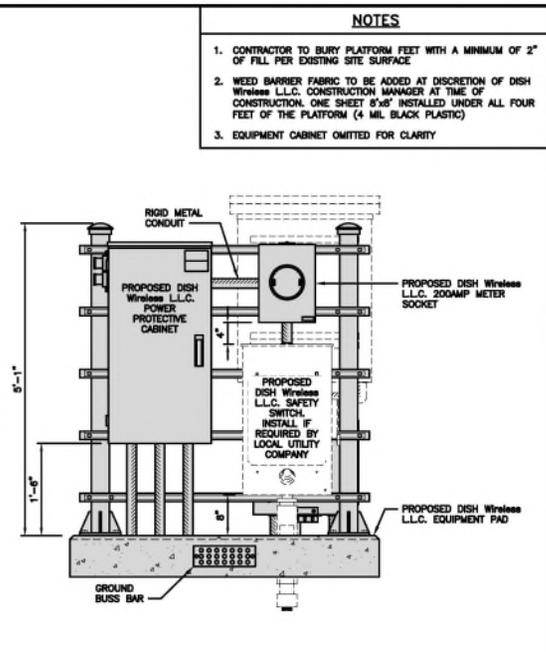
H-FRAME DETAIL

NO SCALE 4

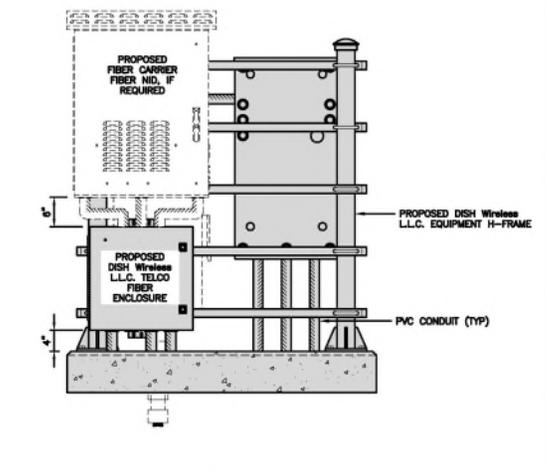


H-FRAME CONCRETE SLAB INSTALLATION DETAIL

NO SCALE 5

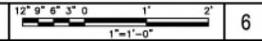


FRONT ELEVATION



BACK ELEVATION

H-FRAME EQUIPMENT ELEVATION



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IRVINE, CA 92603

520 W. PARK CENTER DR. STE 200, SANTA ANA, CA 92705
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RFDS REV #: 0

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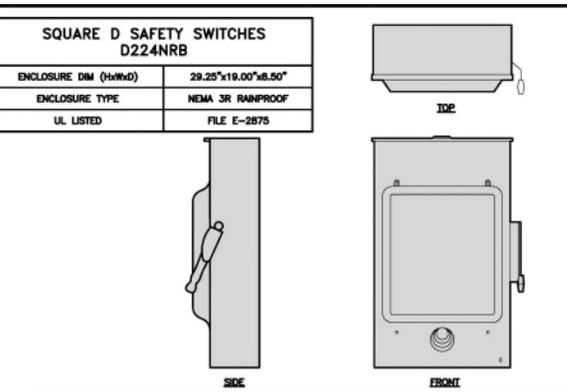
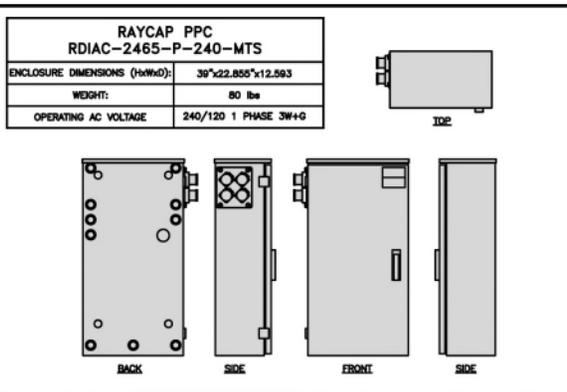
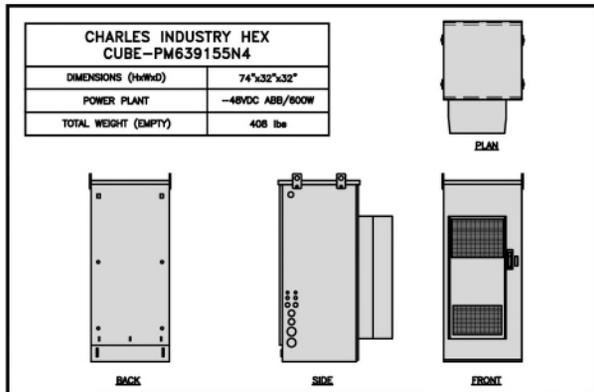
A&E PROJECT NUMBER
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DISH Wireless L.L.C. PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
EQUIPMENT PAD AND H-FRAME DETAILS

SHEET NUMBER

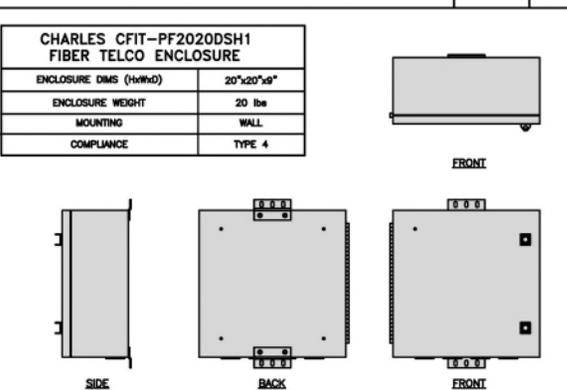
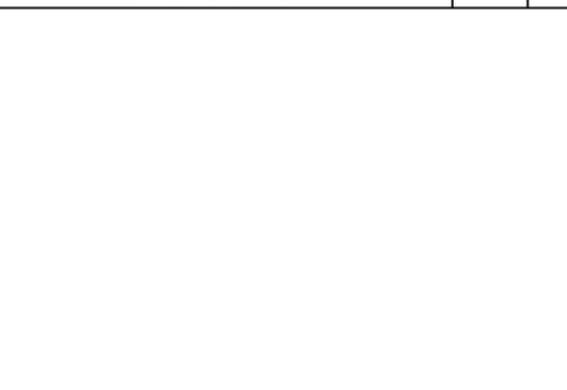
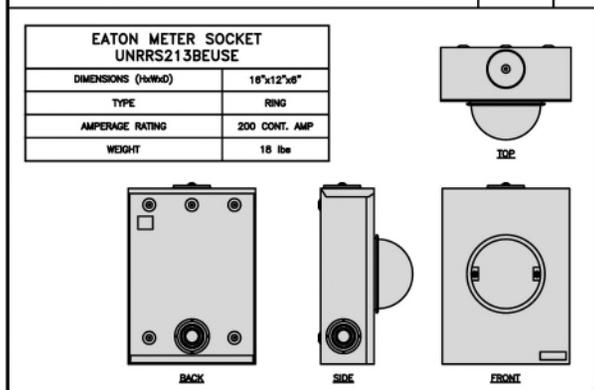
A-3



CABINET DETAIL NO SCALE 1

POWER PROTECTION CABINET (PPC) DETAIL NO SCALE 2

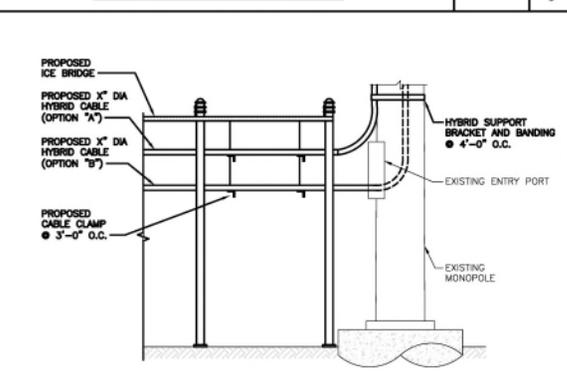
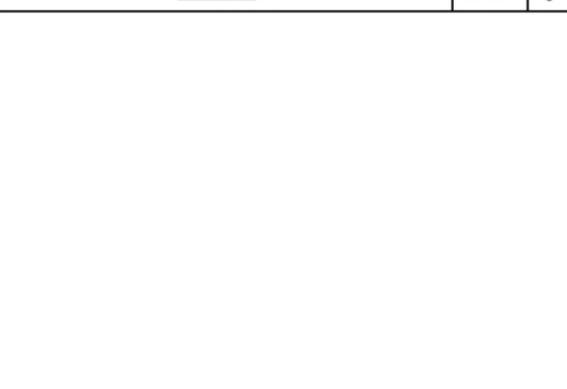
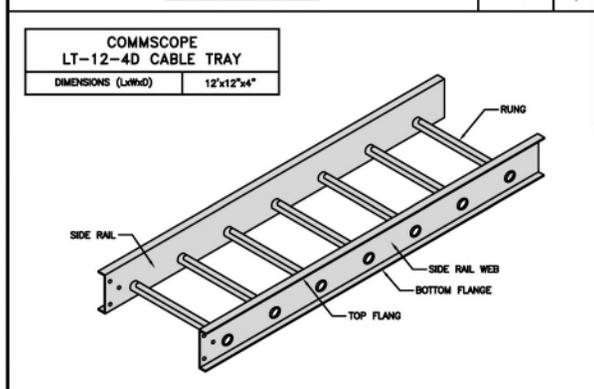
SAFETY SWITCH DETAIL NO SCALE 3



METER BANK DETAIL NO SCALE 4

NOT USED NO SCALE 5

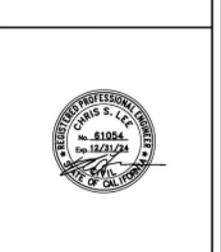
FIBER TELCO ENCLOSURE DETAIL NO SCALE 6



CABLE TRAY DETAIL NO SCALE 7

NOT USED NO SCALE 8

HYBRID CABLE RUN NO SCALE 9



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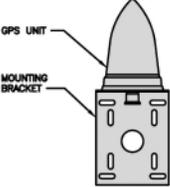
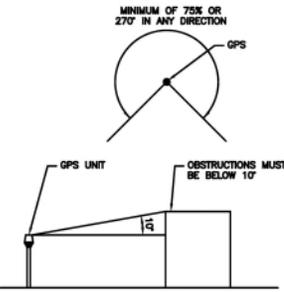
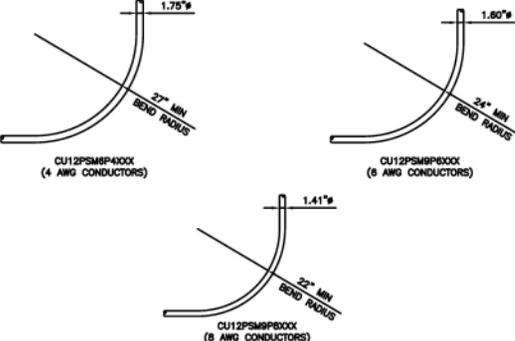
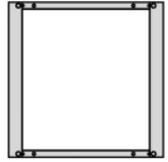
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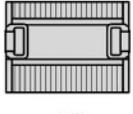
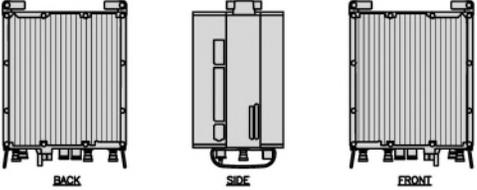
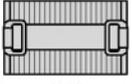
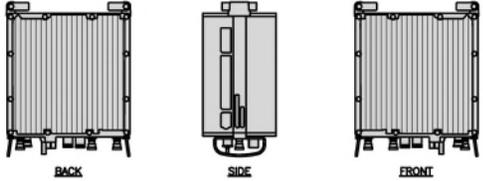
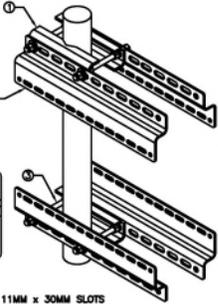
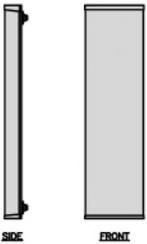
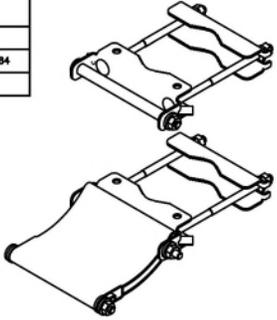
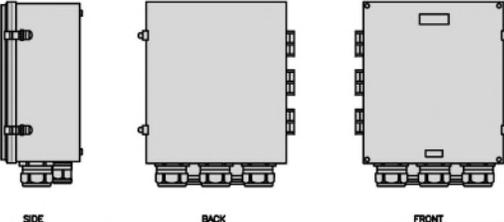
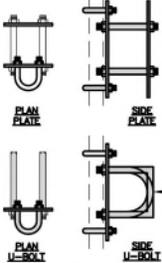
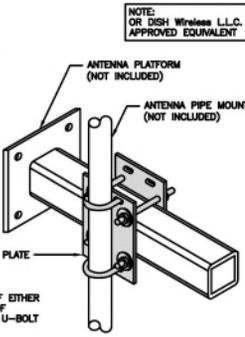
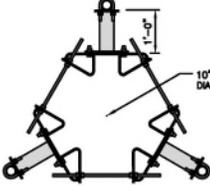
DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-4

<table border="1"> <tr><th colspan="2">PCTEL GPSGL-TMG-SPI-40NCB</th></tr> <tr><td>DIMENSIONS (Dish) MM/INCH</td><td>81x184mm 3.2"x7.25"</td></tr> <tr><td>WEIGHT W/ACCESSORIES</td><td>0.75 lbs</td></tr> <tr><td>CONNECTOR</td><td>N-FEMALE</td></tr> <tr><td>FREQUENCY RANGE</td><td>1590 ± 30MHz</td></tr> </table>  <p>TOP</p>  <p>BACK</p>  <p>SIDE</p>	PCTEL GPSGL-TMG-SPI-40NCB		DIMENSIONS (Dish) MM/INCH	81x184mm 3.2"x7.25"	WEIGHT W/ACCESSORIES	0.75 lbs	CONNECTOR	N-FEMALE	FREQUENCY RANGE	1590 ± 30MHz	 <p>MINIMUM OF 75% OR 270° IN ANY DIRECTION</p> <p>GPS</p> <p>GPS UNIT</p> <p>OBSTRUCTIONS MUST BE BELOW 10°</p>	 <p>1.75"φ</p> <p>27" MIN BEND RADIUS</p> <p>CU12PSM8P400X (4 AWG CONDUCTORS)</p> <p>1.60"φ</p> <p>24" MIN BEND RADIUS</p> <p>CU12PSM8P600X (6 AWG CONDUCTORS)</p> <p>1.41"φ</p> <p>22" MIN BEND RADIUS</p> <p>CU12PSM8P800X (8 AWG CONDUCTORS)</p>	 <p>16812 ARMSTRONG AVE IRVINE, CA 92603</p>  <p>RELIANT LAND SERVICES</p> <p>501 W. BACON CENTER DR. STE 200, SANTA ANA, CA 92705 WWW.RLSUSA.COM PH: (714) 465-0123 FAX: (714) 463-8892</p>  <p>REGISTERED PROFESSIONAL ENGINEER CHRIS S. LEE No. 61054 Exp. 12/31/24 STATE OF CALIFORNIA</p> <p>IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.</p> <p>DRAWN BY: NN CHECKED BY: DJL APPROVED BY: DJL</p> <p>RFDS REV #: 0</p> <p>CONSTRUCTION DOCUMENTS</p> <table border="1"> <tr><th colspan="3">SUBMITTALS</th></tr> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>A</td><td>02/23/2023</td><td>ISSUED FOR REVIEW</td></tr> <tr><td>1</td><td>03/10/2023</td><td>ISSUED FOR FINAL</td></tr> <tr><td> </td><td> </td><td> </td></tr> </table> <p>A&E PROJECT NUMBER 845322</p> <p>DISH Wireless L.L.C. PROJECT INFORMATION</p> <p>LALAX02078A 11818 OJAI/SANTA PAULA RD OJAI, CA 93023</p> <p>SHEET TITLE EQUIPMENT DETAILS</p> <p>SHEET NUMBER A-5</p>	SUBMITTALS			REV	DATE	DESCRIPTION	A	02/23/2023	ISSUED FOR REVIEW	1	03/10/2023	ISSUED FOR FINAL																								
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County of Ventura
 Planning Director Hearing
 Case No. PL23-0110
 Exhibit 3 - Site Plans

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DRAWN BY: NN
CHECKED BY: DJL
APPROVED BY: DJL

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	02/23/2023	ISSUED FOR REVIEW
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A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

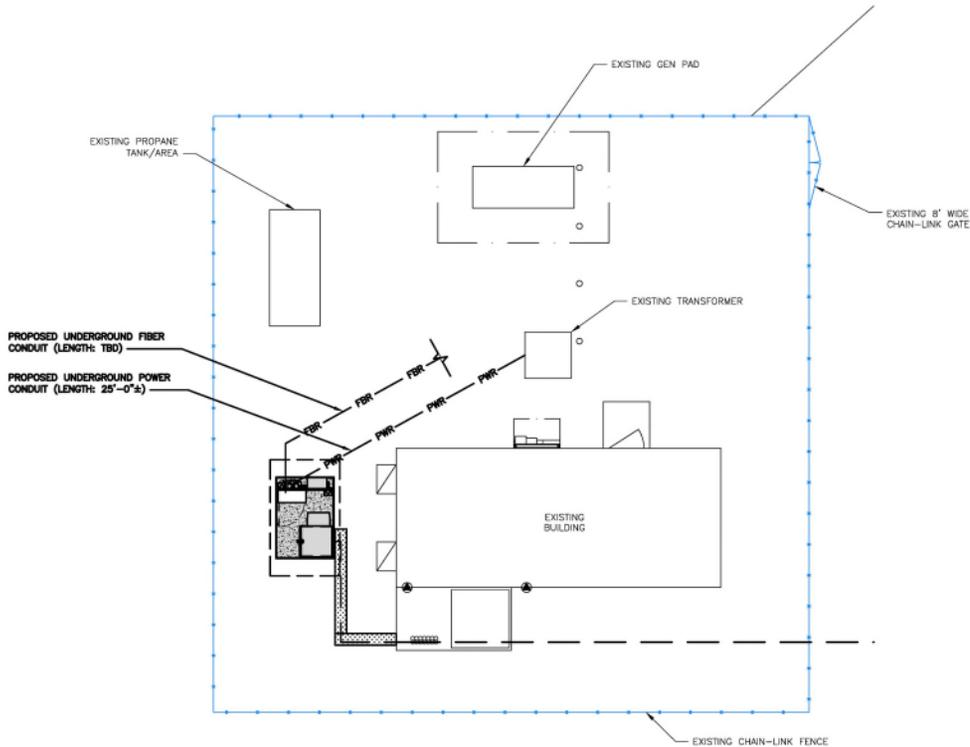
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-6

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED UNDERGROUND UTILITY CONDUIT ROUTE.
2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.
3. DUE TO UTILITY EASEMENT RIGHTS SPECIFIED IN THE GROUND LEASE, CUSTOMER MAY INSTALL EQUIPMENT WITHIN SPECIFIED UTILITY EASEMENT AREA. "PWR" AND "FBR" PATH DEPICTED ON A-1 AND E-1 REPRESENT PLANNED ROUTING BASED ON BEST AVAILABLE INFORMATION INCLUDING BUT NOT LIMITED TO A SURVEY, EXHIBITS, METES AND BOUNDS OF THE UTILITY EASEMENT, FIELD VERIFICATION, PRIOR PROJECT DOCUMENTATION AND OTHER REGA, PROPERTY RIGHTS DOCUMENTS. WHEN INSTALLING THE UTILITIES PLEASE LOCATE AND FOLLOW EXISTING PATH. IF EXISTING PATH IS MATERIALLY INCONSISTENT WITH "PWR" AND "FBR" PATH DEPICTED ON A-1 AND E-1 AND SAID VARIANCE IS NOT NOTED ON CD, PLEASE NOTIFY TOWER OWNER AS FURTHER COORDINATION MAY BE NEEDED.



DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
2. LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
3. CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
4. CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
5. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
6. CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
7. ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
8. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
9. ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
10. PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.
12. ALL TRENCHES IN COMPOUND TO BE HAND DUG

ELECTRICAL NOTES

2



16812 ARMSTRONG AVE
IRVINE, CA 92603



500 PARKVIEW DR STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH (714) 465-0123 FAX (714) 453-8492



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PROJECT INFORMATION
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11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
ELECTRICAL/FIBER ROUTE
PLAN AND NOTES

SHEET NUMBER
E-1

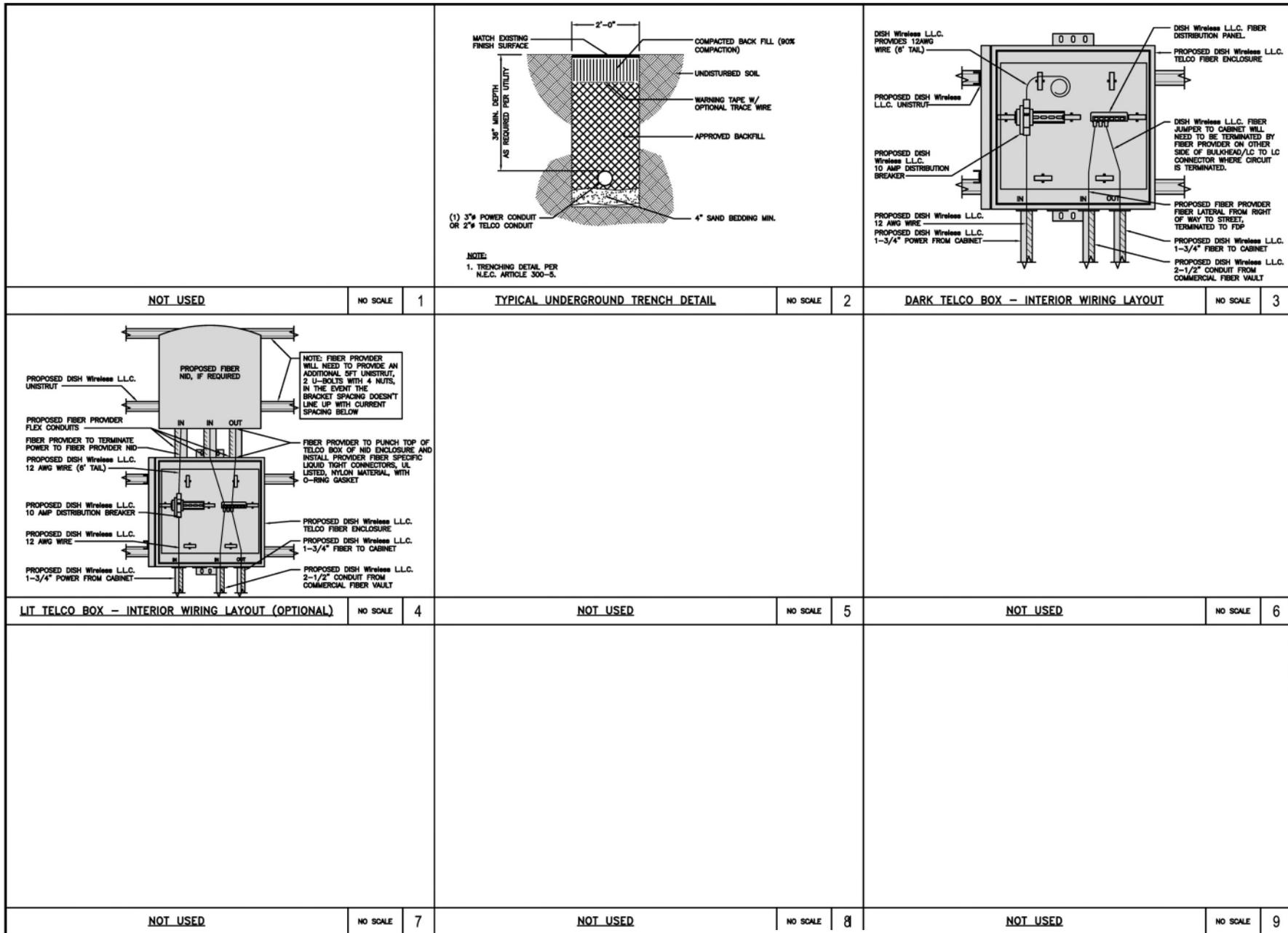
UTILITY ROUTE PLAN



1

NOT USED

3



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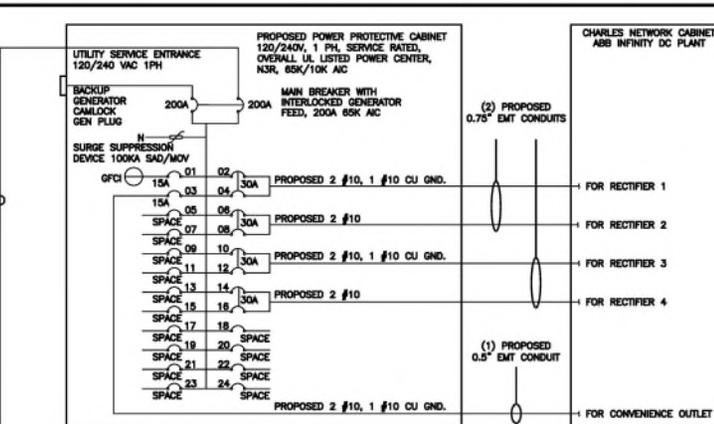
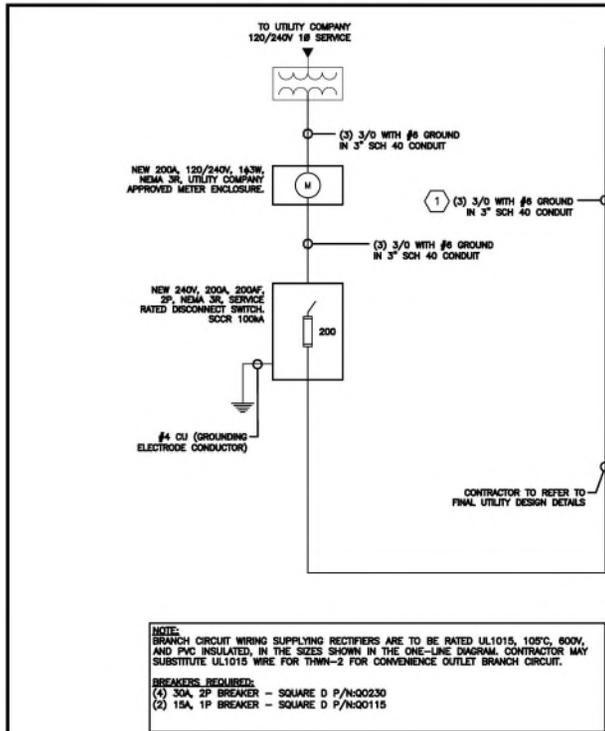
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OJAI, CA 93023

SHEET TITLE
ELECTRICAL DETAILS
SHEET NUMBER

E-2



SERVICE/FEEDER CONDUCTOR LENGTH TABLE (BASED ON INDUSTRY STANDARD 3% VOLTAGE DROP AND 5% NEC ALLOWABLE LIMIT)

DESIGN LOADS	CONDUCTOR SIZES				
	250 kcmil AL	300 kcmil AL	3/0 CU	4/0 CU	250 kcmil CU
1Ø3W WIRELESS L.L.C. BROWNS CONDUIS LOAD (1000) (NEC ARTICLE 230 & 230 90 VOLTAGE DROP)	130'	155'	145'	180'	215'
1Ø3W WIRELESS L.L.C. BROWNS CONDUIS LOAD (1000) (NEC ARTICLE 230 & 230 90 VOLTAGE DROP)	220'	280'	240'	300'	425'

- NOTES:
- 250 MCM/KCMIL AL + #2 AL GRD MAY BE USED AS A REPLACEMENT FOR 3/0 CU + #6 CU GRD SERVICE CONDUCTOR FROM THE DISH Wireless L.L.C. FIRST MEANS OF DISCONNECT/UTILITY COMPANY MEET-WE POINT. REFER TO VALUES ABOVE TO LIMIT VOLTAGE DROP TO 3%.
 - ALUMINUM/COPPER CONDUCTORS MUST BE RATED 75°C.
 - ALUMINUM TO COPPER BUS CONNECTIONS MUST MEET AND CONFORM TO ANSI AND BE UL LISTED. USE ANTI CORROSION CONDUCTIVE LUBRICANT ON CONNECTIONS.
 - PPC MAIN DISCONNECT CIRCUIT BREAKERS ACCEPT #4 - 300KCMIL AL OR CU CONDUCTORS.
 - VOLTAGE DROP FOR SINGLE METER ENCLOSURE FED FROM TRANSFORMER WITH MULTIPLE CUSTOMERS IS CALCULATED FROM THE TRANSFORMER TO PPC. (SERVICE AND FEEDER CONDUCTOR LENGTH)
 - VOLTAGE DROP FOR MULTI-METER ENCLOSURE IS CALCULATED FROM THE METER TO PPC. (FEEDER CONDUCTOR LENGTH)
 - VOLTAGE DROP CALCULATIONS ARE BASED ON A POWER FACTOR OF 1. A LINE TO GROUND VOLTAGE PER CONDUCTOR OF 120V, NO CORRECTION FACTOR FOR AMBIENT TEMPERATURE OR ADJUSTMENT FACTOR FOR MORE THAN THREE CURRENT-CARRYING CONDUCTORS IN A SINGLE CONDUIT OR RACEWAY. A POWER FACTOR LESS THAN 1 OR VOLTAGE LESS THAN 120 WILL RESULT IN SHORTER DISTANCES THAN SHOWN IN TABLE.

NOTES

THE ENGINEER OF RECORD HAS PERFORMED ALL REQUIRED SHORT CIRCUIT CALCULATIONS AND THE AIC RATINGS FOR EACH DEVICE IS ADEQUATE TO PROTECT THE EQUIPMENT AND THE ELECTRICAL SYSTEM.

THE ENGINEER OF RECORD HAS PERFORMED ALL REQUIRED VOLTAGE DROP CALCULATIONS AND ALL BRANCH CIRCUIT AND FEEDERS COMPLY WITH THE NEC (LISTED ON T-1) ARTICLE 210.19(A)(1) FPN NO. 4.

THE (2) CONDUITS WITH (4) CURRENT CARRYING CONDUCTORS EACH, SHALL APPLY THE ADJUSTMENT FACTOR OF 80% PER 2014/17 NEC TABLE 310.15(B)(3)(a) OR 2020 NEC TABLE 310.15(C)(1) FOR UL1015 WIRE.

#12 FOR 15A-20A/1P BREAKER: 0.8 x 30A = 24.0A
 #10 FOR 25A-30A/2P BREAKER: 0.8 x 40A = 32.0A
 #8 FOR 35A-40A/2P BREAKER: 0.8 x 55A = 44.0A
 #6 FOR 45A-60A/2P BREAKER: 0.8 x 75A = 60.0A

CONDUIT SIZING: AT 40% FILL PER NEC CHAPTER 9, TABLE 4, ARTICLE 358.
 0.5" CONDUIT - 0.122 SQ. IN AREA
 0.75" CONDUIT - 0.213 SQ. IN AREA
 2.0" CONDUIT - 1.316 SQ. IN AREA
 3.0" CONDUIT - 2.907 SQ. IN AREA

CABINET CONVENIENCE OUTLET CONDUCTORS (1 CONDUIT): USING THW-2, CU.
 #10 - 0.0211 SQ. IN X 2 = 0.0422 SQ. IN
 #10 - 0.0211 SQ. IN X 1 = 0.0211 SQ. IN <GROUND
 TOTAL = 0.0633 SQ. IN

0.5" EMT CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (3) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

RECTIFIER CONDUCTORS (2 CONDUITS): USING UL1015, CU.
 #10 - 0.0286 SQ. IN X 4 = 0.1146 SQ. IN
 #10 - 0.0082 SQ. IN X 1 = 0.0082 SQ. IN <BARE GROUND
 TOTAL = 0.1146 SQ. IN

0.75" EMT CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (5) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

PPC FEED CONDUCTORS (1 CONDUIT): USING THWN, CU.
 3/0 - 0.2679 SQ. IN X 3 = 0.8037 SQ. IN
 #6 - 0.0507 SQ. IN X 1 = 0.0507 SQ. IN <GROUND
 TOTAL = 0.8544 SQ. IN

3.0" SCH 40 PVC CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (4) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

PPC FEED CONDUCTORS (1 CONDUIT): USING THWN, AL.
 250kcmil AL - 0.3970 SQ. IN X 3 = 1.191 SQ. IN
 #4 AL - 0.0824 SQ. IN X 1 = 0.0824 SQ. IN <GROUND
 TOTAL = 1.2734 SQ. IN

3.0" SCH 40 PVC CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (4) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

dish wireless.

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CURTIS S. LEE
No. 61054
Exp. 12/31/24
STATE OF CALIFORNIA
REGISTERED PROFESSIONAL ENGINEER

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RFDS REV #: 0

PPC ONE-LINE DIAGRAM NO SCALE 1

PROPOSED CHARLES PANEL SCHEDULE

LOAD SERVED	VOLT AMPS (WATTS)		TRIP	Ckt #	PHASE	Ckt #	TRIP	VOLT AMPS (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
PPC GFCI OUTLET	180	180	15A	1	A	2	30A	2680	2680	ABB/OE INFINITY RECTIFIER 1
CHARLES GFCI OUTLET	180	180	15A	3	B	4	30A	2680	2680	ABB/OE INFINITY RECTIFIER 2
-SPACE-				5	B	6	30A	2680	2680	ABB/OE INFINITY RECTIFIER 3
-SPACE-				7	A	8	30A	2680	2680	ABB/OE INFINITY RECTIFIER 4
-SPACE-				9	A	10	30A	2680	2680	-SPACE-
-SPACE-				11	B	12	30A	2680	2680	-SPACE-
-SPACE-				13	B	14	30A	2680	2680	-SPACE-
-SPACE-				15	B	16	30A	2680	2680	-SPACE-
-SPACE-				17	A	18				-SPACE-
-SPACE-				19	B	20				-SPACE-
-SPACE-				21	A	22				-SPACE-
-SPACE-				23	B	24				-SPACE-
VOLTAGE AMPS	180	180						11520	11520	
200A MCB, 1Ø, 2Ø SPACE, 120/240V				L1	L2					
MB RATING: 65,000 AC				11700	11700			VOLTAGE AMPS		
				88	88			AMPS		
				98	98			MAX AMPS		
				123	123			MAX 125%		

PANEL SCHEDULE NO SCALE 2 **SHORT CIRCUIT CALCULATIONS** NO SCALE 3

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
A	02/23/2023	ISSUED FOR REVIEW
1	03/10/2023	ISSUED FOR FINAL

A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
**ELECTRICAL ONE-LINE, FAULT
CALCS & PANEL SCHEDULE**

SHEET NUMBER
E-3

NOTES:

- HAZARD OF ELECTRICAL SHOCK OR BURN. TURN OFF POWER SUPPLYING THIS EQUIPMENT BEFORE WORKING INSIDE.
- 100 OR 200 AMP, 240 VOLTS, SINGLE PHASE ALTERNATING CURRENT CIRCUIT ONLY
- GENERATOR SHORT CIRCUIT RATING: 10,000 / 20,000 AMPS RMS SYMMETRICAL, AMPERES AT 240 VOLTS
- UTILITY SHORT CIRCUIT RATING: 65,000 AMPS RMS SYMMETRICAL, AMPERES AT 240 VOLTS
- SUITABLE FOR USE AS SERVICE EQUIPMENT
- SUITABLE FOR USE IN ACCORDANCE WITH ARTICLE 702 OF THE NATIONAL ELECTRIC CODE ANSI/NFPA 70
- BONDED NEUTRAL WHEN INSTALLED AS SHOWN IN WIRING DIAGRAM
- RAIN PROOF TYPE 3R
- USE CU-AL WIRE 60-75 °C
- EQUIPPED WITH SLIDE BAR MECHANICAL INTERLOCK
- INTERLOCK PROHIBITS BOTH POWER SOURCES FROM BEING IN THE ON POSITION SIMULTANEOUSLY
- EQUIPPED WITH SQUARE D BREAKERS OR ALTERNATIVE MANUFACTURER EQUIVALENT
- WHEN REPLACE LOAD CENTER BREAKERS, USE ONLY SQUARE D (OO TYPE) OF THE SAME RATING OR EQUIVALENT
- WHEN RESETTING BREAKERS TURN TO OFF POSITION, THEN TO ON POSITION
- WARNING: MAKE CONTINUITY CHECK WITH OHM METER TO VERIFY CORRECT PHASING AND GROUNDING CONNECTIONS BEFORE POWER UP
- VERIFY PIN OUT CONFIGURATION OF GENERATOR PRIOR TO USE.
- RISK OF ELECTRIC SHOCK, BOTH ENDS OF DISCONNECTING MEANS MAY BE ENERGIZED. TEST BEFORE SERVICING
- THIS SWITCH BOARD MAY CONTAIN A TAP ON THE SERVICE SIDE OF THE MAIN POWER DISCONNECT FOR REMOTE MONITORING OF UTILITY/STANDBY POWER
- THE NORMAL AC POWER MONITORING CIRCUIT MUST UTILIZE A DISCONNECTING MEANS WITH A SHORT CIRCUIT RATING GREATER THAN THE AVAILABLE INTERRUPTING CURRENT
- A RED PUSH-TO-TRIP BUTTON PROVIDES A MEANS TO MECHANICALLY TRIP THE CIRCUIT BREAKER. THIS ACTION EXERCISES THE TRIPPING PORTION OF THE MECHANISM AND ALLOWS MAINTENANCE CHECK ON THE BREAKER

SUITABLE FOR USE AS SERVICE EQUIPMENT

ELECTRICAL RATING 120/240 VOLTS SINGLE PHASE 60 Hz	
NORMAL AC POWER 100A	GENERATOR POWER 100A
200A	200A

CAUTION:

- THE OPERATING HANDLE ASSUMES A CENTER POSITION WHEN THE CIRCUIT BREAKER IS TRIPPED
- THE BREAKER CAN BE RESET BY OPERATING THE HANDLE TO THE EXTREME OFF POSITION AND THEN TO ON
- SLIDE BAR MECHANICAL INTERLOCK TRANSFERS NORMAL AC POWER TO GENERATOR POWER. THE SLIDE BAR MECHANICAL INTERLOCK PROHIBITS BOTH POWER SOURCES FROM BEING IN THE ON POSITION SIMULTANEOUSLY
- TO TRANSFER FROM ON POWER SOURCE TO THE OTHER POWER SOURCE, SWITCH ON BREAKER TO THE OFF POSITION, MOVE THE SLIDE BAR TO THE OTHER SIDE AND THE SWITCH THE OTHER BREAKER TO THE ON POSITION

200A UTILITY FEED

LOAD SIZE CIRCUIT BREAKERS				LINE SIDE MAIN CIRCUIT BREAKER					
MFR.	TYPE	POLES	AMP RATING	MFR.	TYPE	AMP RATING	SYMMET. AMP RMS	VOLTS AC	PHASES
SQ-D	QO	1/2	15-100A	SQ-D	QGL	200A	65,000A	240V	2

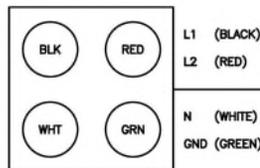
200A GENERATOR FEED

LOAD SIZE CIRCUIT BREAKERS				LINE SIDE MAIN CIRCUIT BREAKER					
MFR.	TYPE	POLES	AMP RATING	MFR.	TYPE	AMP RATING	SYMMET. AMP RMS	VOLTS AC	PHASES
SQ-D	QO	1/2	15-100A	SQ-D	QGL	200A	65,000A	240V	2

THIS SWITCHBOARD UTILITY MAIN BREAKER IS SUITABLE FOR USE ON CIRCUIT CAPABLE OF DELIVERING NOT MORE THAN 65,000 RMS SYMMETRICAL AMPS, 240 VOLTS MAXIMUM.

THIS SWITCHBOARD GENERATOR POWER CIRCUIT IS SUITABLE FOR USE ON A CIRCUIT CAPABLE OF DELIVERING NOT MORE THAN 10,000 RMS SYMMETRICAL AMPS, 240 VOLTS MAXIMUM.

MAXIMUM CONTINUOUS LOADS NOT TO EXCEED 80% OF THE OVER-CURRENT PROTECTIVE DEVICE (CIRCUIT BREAKER AND FUSES) RATINGS EMPLOYED IN OTHER THAN MOTOR CIRCUITS, EXCEPT FOR THOSE CIRCUITS EMPLOYING CIRCUIT BREAKERS MARKED AS SUITABLE FOR CONTINUOUS OPERATION AT 100% OF THEIR RATINGS. CONDUCTORS ARE NOT TO ENTER OR LEAVE THE ENCLOSURE DIRECTLY OPPOSITE THE WIRING TERMINAL.

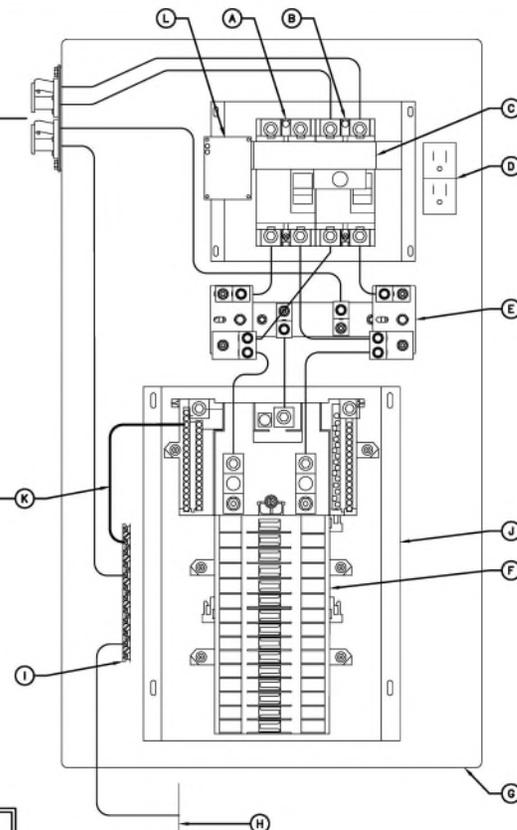


CAM-LOCK GENERATOR RECEPTACLE
(AS VIEWED FROM OUTSIDE OF ENCLOSURE)
USE LINE UP PIN AS REFERENCE

REFER TO RECEPTACLE FOR MODEL NUMBER

DANGER:
HAZARD OF ELECTRICAL SHOCK OR BURN.
TURN OFF POWER SUPPLYING THIS EQUIPMENT BEFORE WORKING INSIDE.

RAYCAP CUSTOMER SERVICE
(800) 890-2569



NEUTRAL-TO-GROUND NOTES:

- WHEN THE PPC IS USED AS THE SERVICE ENTRANCE DEVICE, THE NEUTRAL TO GROUND BOND NEEDS TO BE ESTABLISHED IN THE PPC.
- WHEN THE SERVICE ENTRY DEVICE IS A MULTI-METER CENTER OR A PRE-PPC DISCONNECT IS USED AND HAS "NEUTRAL TO GROUND" ACCOMMODATIONS, THE NEUTRAL TO GROUND WIRE IN THE PPC IS NOT REQUIRED.
- THE GREEN #6 WIRE IS PROVIDED WITH THE PPC CABINET AS A SEPARATE UNINSTALLED PART TO BE INSTALLED BY CONTRACTOR IF NEEDED.

NEUTRAL-TO-GROUND BONDING JUMPER

INSTALLATION INSTRUCTIONS:

- IF REQUIRED, THE N-G BONDING KIT SHOULD BE INSTALLED BY QUALIFIED PERSONNEL.
- ENSURE THE MAIN BREAKERS ARE OFF
- USE THE GREEN #6 WIRE PROVIDED WITH THE PPC
- INSTALL THE JUMPER AS SHOWN IN THE WIRING DIAGRAM
- TIGHTEN TERMINALS TO TORQUE VALUE SHOWN IN TORQUE TABLE
- PLACE THE PROVIDED "SERVICE" LABEL IN THE SPACE BELOW THE WORDS "AC POWER" LOCATED ABOVE THE MAIN CIRCUIT BREAKER IN THE UPPER PORTION OF THE DEAD FRONT

LEGEND:

- A. UTILITY DISCONNECT (SERVICE RATED)
- B. GENERATOR DISCONNECT
- C. MAIN DISCONNECT CIRCUIT BREAKERS W/ MECHANICAL INTERLOCK
- D. GFCI RECEPTACLE 15A
- E. SPD STRIKESORB KELVIN CONNECTION (TYP OF 2)
- F. BREAKER PANEL - 24 POSITION (CONTRACTOR TO ADD APPROPRIATE BREAKER PER ONE-LINE DIAGRAM PANEL SCHEDULE)
- G. POWER PROTECTION CABINET (PPC) (FULLY ASSEMBLED FROM MANUFACTURER)
- H. CONTRACTOR TO ATTACH TO UNDERGROUND GROUNDING HALD OR INSTALL GROUND ROD WHEN REQUIRED BY CODE
- I. GROUND BAR
- J. SQUARE D Q SERIES LOAD CENTER
- K. NEUTRAL-TO-GROUND (N-G) BONDING JUMPER (CONTRACTOR INSTALLED IF REQUIRED)
- L. OPTIONAL SPD STATUS INDICATORS

RAYCAP POWER PROTECTION CABINET - RDIAC-2465-P-240-MTS (NEUTRAL-TO-GROUND)

NO SCALE 1



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DRAWN BY: NN CHECKED BY: DJL APPROVED BY: DJL

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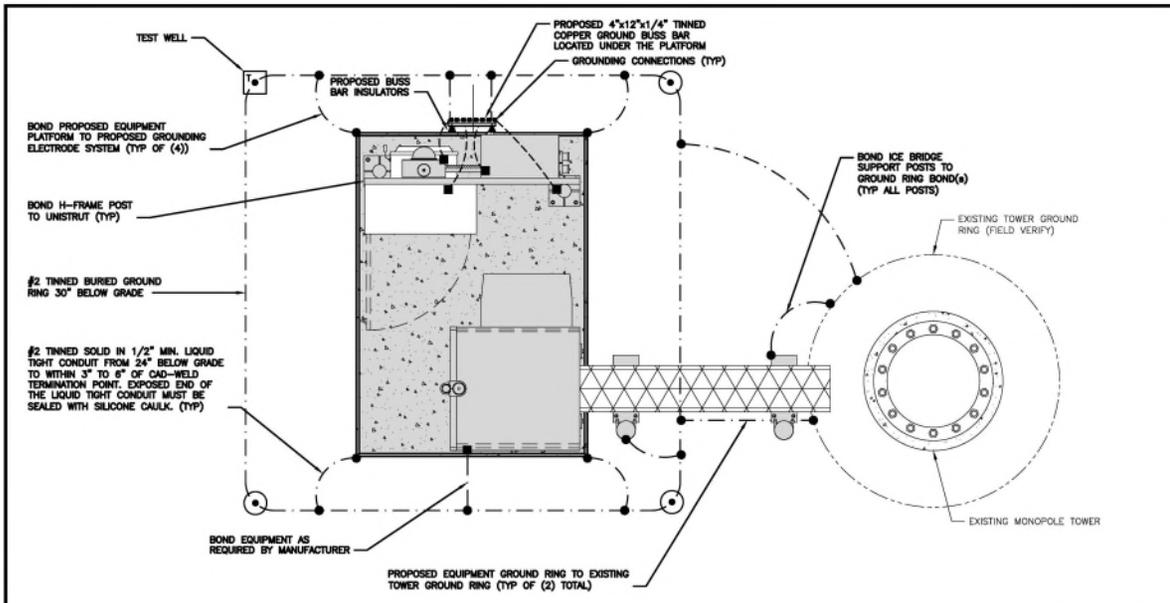
A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
PPC NEUTRAL-TO-GROUND SCHEMATIC

SHEET NUMBER

E-4

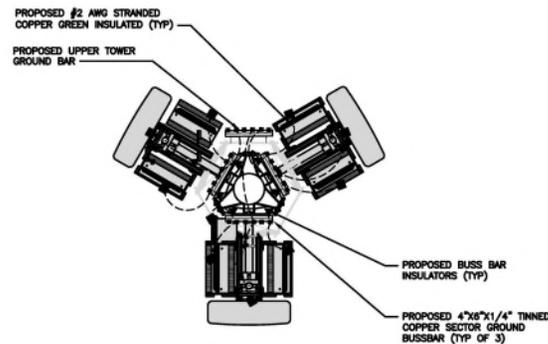


TYPICAL EQUIPMENT GROUNDING PLAN

NO SCALE 1

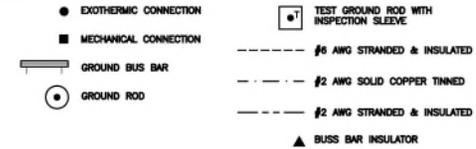
NOTES

- ANTENNAS AND OVP SHOWN ARE GENERIC AND NOT REFERENCING TO A SPECIFIC MANUFACTURER. THIS LAYOUT IS FOR REFERENCE PURPOSES ONLY
- UPPER TOWER BUSSBAR SHALL BE INSTALLED WITHOUT INSULATORS



TYPICAL ANTENNA GROUNDING PLAN

NO SCALE 2



GROUNDING LEGEND

1. GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
2. CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH Wireless L.L.C. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
3. ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.

GROUNDING KEY NOTES

- (A) EXTERIOR GROUND RING: #2 TINNED, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
- (B) TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LEGS, AND/OR GUY ANCHORS. WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND THE BUILDING, AT LEAST TWO BONDS SHALL BE MADE BETWEEN THE TOWER RING GROUND SYSTEM AND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
- (C) INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUND TO THE INTERIOR GROUND RING WITH #2 AWG STRANDED GREEN INSULATED CONDUCTOR.
- (D) BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING.
- (E) GROUND ROD: UL LISTED COPPER CLAD STEEL, MINIMUM 5/8" DIAMETER BY TEN FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
- (F) CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
- (G) HATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CROSS MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
- (H) EXTERIOR CABLE ENTRY POST GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH AN EXOTHERMIC WELD AND INSPECTION SLEEVE.
- (I) TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
- (J) FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK.
- (K) INTERIOR UNIT BONDS: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #2 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
- (L) FENCE AND GATE GROUNDING: METAL FENCES WITHIN 7 FEET OF THE EXTERIOR GROUND RING OR OBJECTS BONDED TO THE EXTERIOR GROUND RING SHALL BE BONDED TO THE GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
- (M) EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE EXTERIOR GROUND RING USING #2 TINNED SOLID COPPER WIRE
- (N) ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
- (O) TOWER TOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO PROPOSED ANTENNA MOUNT COLLAR. REFER TO DISH Wireless L.L.C. GROUNDING NOTES.

GROUNDING KEY NOTES

NO SCALE 3



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RFDS REV #: 0

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A&E PROJECT NUMBER
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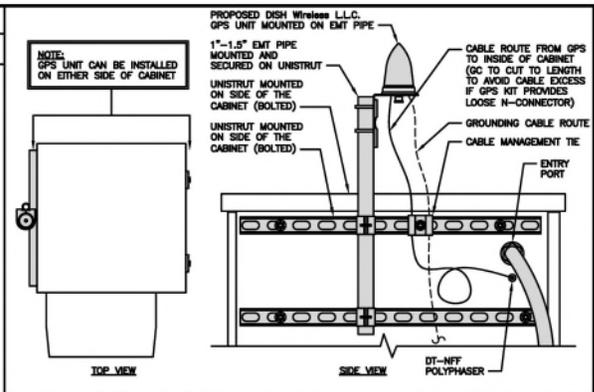
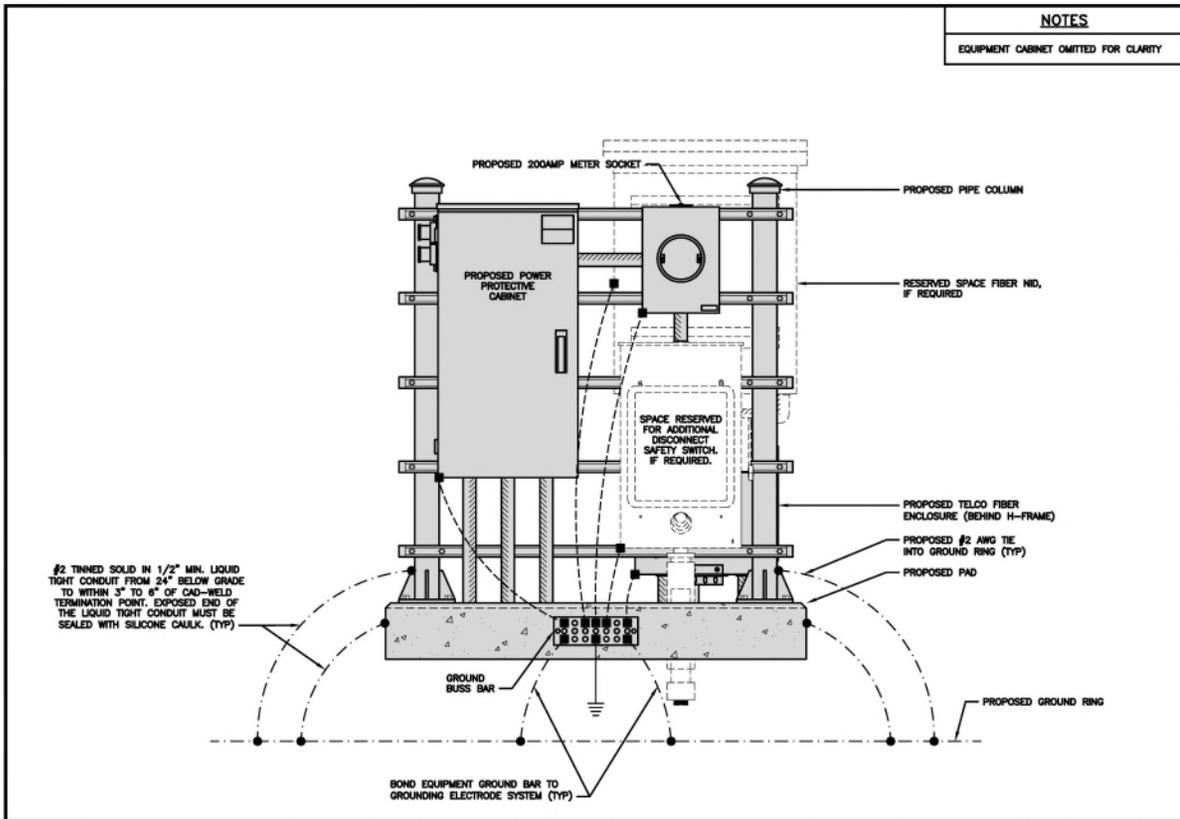
DISH Wireless L.L.C.
PROJECT INFORMATION

LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

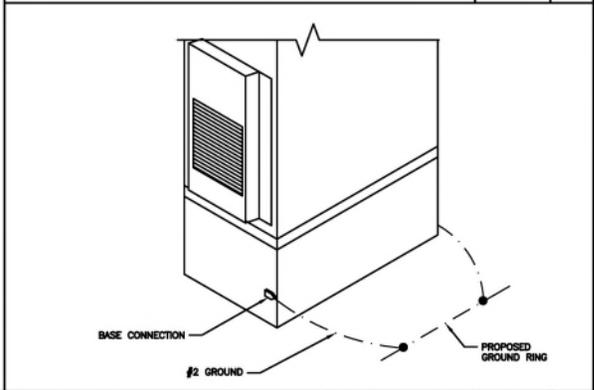
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GROUNDING PLANS
AND NOTES

SHEET NUMBER

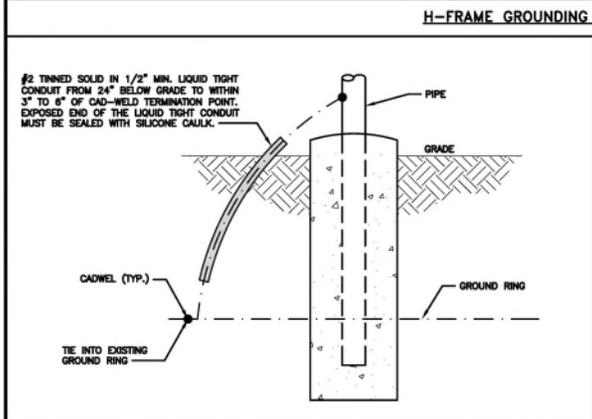
G-1



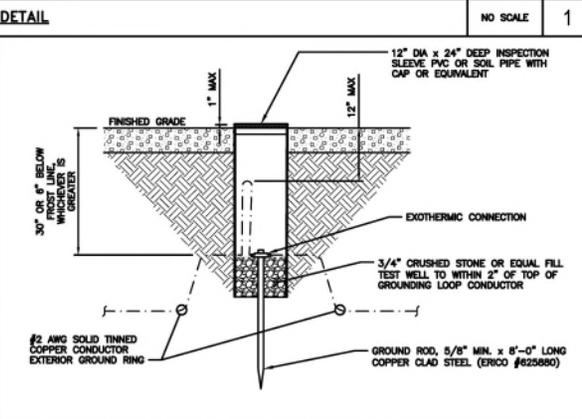
TYPICAL PCTEL GPS UNIT GROUNDING NO SCALE 2



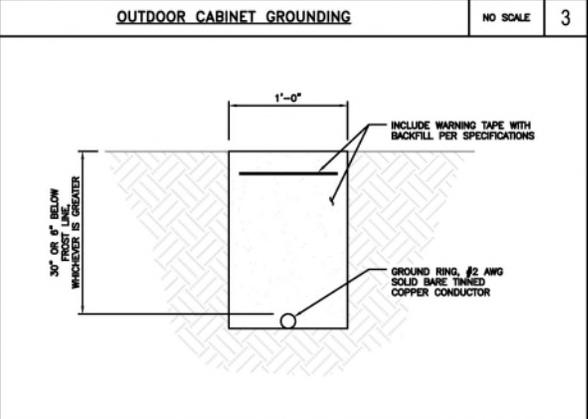
OUTDOOR CABINET GROUNDING NO SCALE 3



H-FRAME GROUNDING DETAIL NO SCALE 1



TYPICAL TEST GROUND ROD WITH INSPECTION SLEEVE NO SCALE 5



TYPICAL GROUND RING TRENCH NO SCALE 6

TRANSITIONING GROUND DETAIL NO SCALE 4

dish wireless.

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NN	DJL	DJL

RFDS REV #: 0

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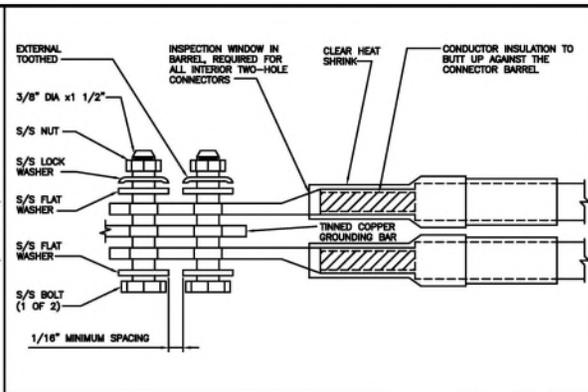
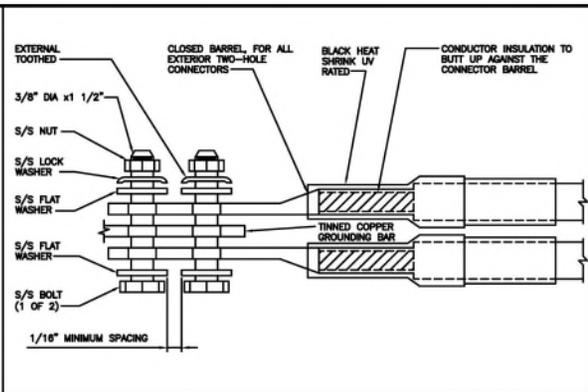
SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

DISH Wireless L.L.C. TEMPLATE VERSION 54 - 01/20/2023

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**

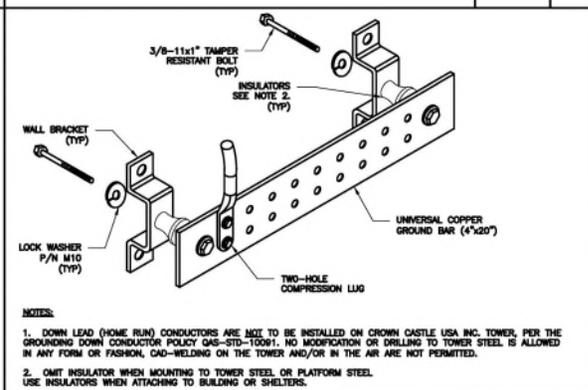
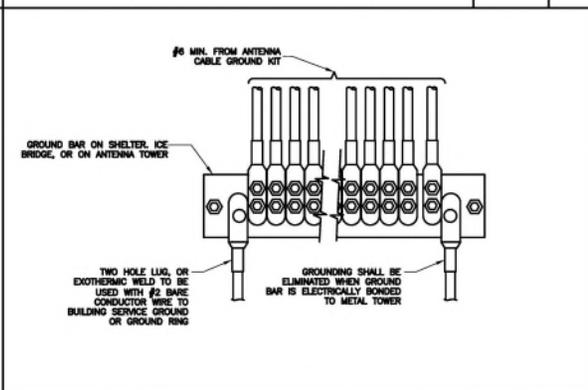
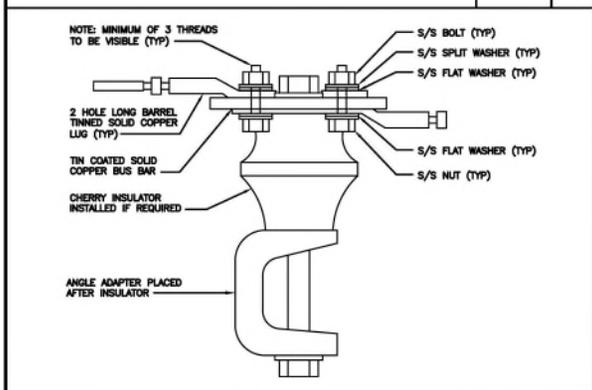
- EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY: COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
- NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
- ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
- ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).



TYPICAL GROUNDING NOTES NO SCALE 1

TYPICAL EXTERIOR TWO HOLE LUG NO SCALE 2

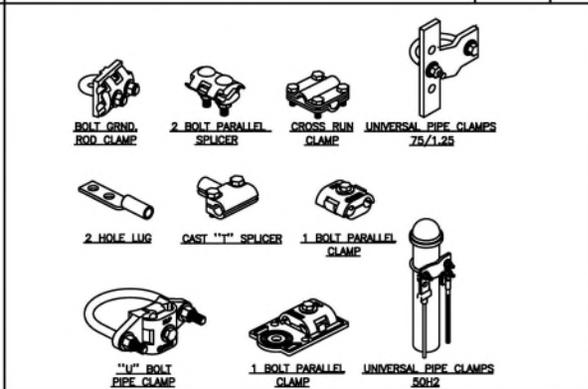
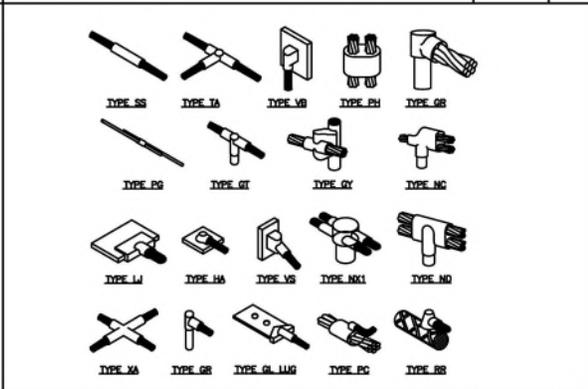
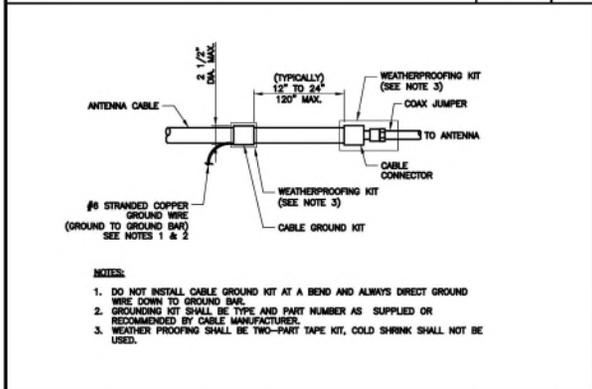
TYPICAL INTERIOR TWO HOLE LUG NO SCALE 3



LUG DETAIL NO SCALE 4

GROUNDWIRE INSTALLATION NO SCALE 5

GROUND BAR DETAIL NO SCALE 6



CABLE GROUND KIT NO SCALE 7

CADWELD CONNECTION NO SCALE 8

MECHANICAL CONNECTION NO SCALE 9

dish wireless.
16812 ARMSTRONG AVE
IRVINE, CA 92603

RLS
RELIANT LAND SERVICES
501 PARKCENTER DR STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH (714) 465-0123 FAX (714) 463-8892

REGISTERED PROFESSIONAL ENGINEER
CHRIS S. LEE
No. 61054
Exp. 12/31/24
STATE OF CALIFORNIA

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DRAWN BY: NN CHECKED BY: DJL APPROVED BY: DJL
RFDS REV #: 0

CONSTRUCTION DOCUMENTS

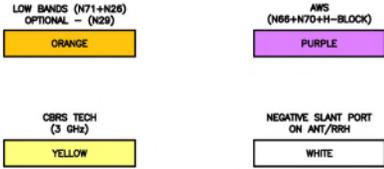
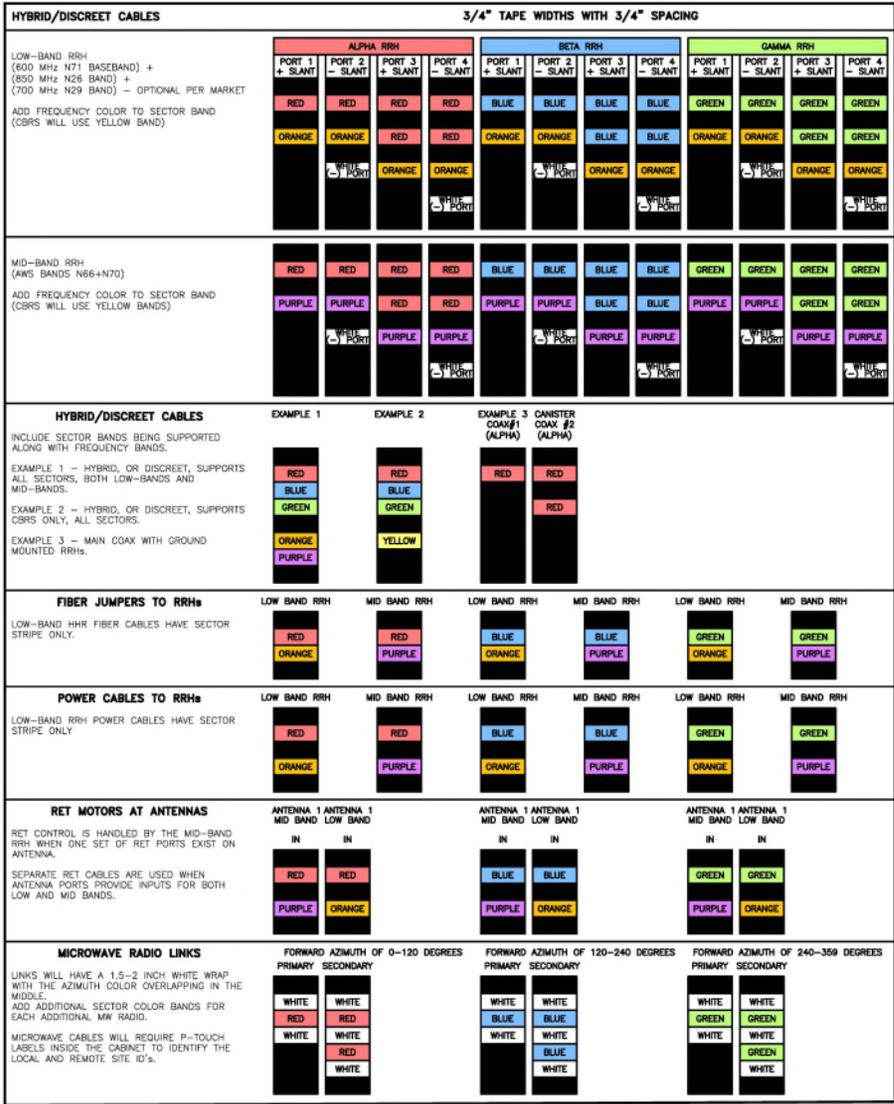
REV	DATE	DESCRIPTION
A	02/23/2023	ISSUED FOR REVIEW
1	03/10/2023	ISSUED FOR FINAL

A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-3



COLOR IDENTIFIER NO SCALE 2

NOT USED NO SCALE 3

RF CABLE COLOR CODES NO SCALE 1 NOT USED NO SCALE 4



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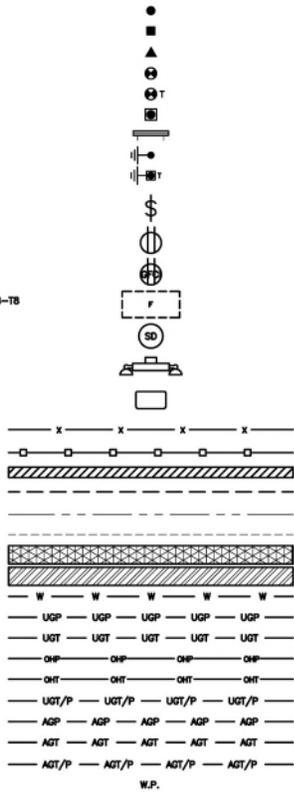
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LALAX02078A
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OJAI, CA 93023

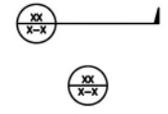
SHEET TITLE
RF CABLE COLOR CODES
SHEET NUMBER

RF-1

EXOTHERMIC CONNECTION
 MECHANICAL CONNECTION
 BUSS BAR INSULATOR
 CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 EXOTHERMIC WITH INSPECTION SLEEVE
 GROUNDING BAR
 GROUND ROD
 TEST GROUND ROD WITH INSPECTION SLEEVE
 SINGLE POLE SWITCH
 DUPLEX RECEPTACLE
 DUPLEX GFCI RECEPTACLE
 FLUORESCENT LIGHTING FIXTURE (2) TWO LAMPS 48"-TS
 SMOKE DETECTION (DC)
 EMERGENCY LIGHTING (DC)
 SECURITY LIGHT W/PHOTOCELL LITHONIA ALXW
 LED-1-25M400/51K-SR4-120-PE-00BTDX
 CHAIN LINK FENCE
 WOOD/WROUGHT IRON FENCE
 WALL STRUCTURE
 LEASE AREA
 PROPERTY LINE (PL)
 SETBACKS
 ICE BRIDGE
 CABLE TRAY
 WATER LINE
 UNDERGROUND POWER
 UNDERGROUND TELCO
 OVERHEAD POWER
 OVERHEAD TELCO
 UNDERGROUND TELCO/POWER
 ABOVE GROUND POWER
 ABOVE GROUND TELCO
 ABOVE GROUND TELCO/POWER
 WORKPOINT



SECTION REFERENCE
 DETAIL REFERENCE



LEGEND

AB ANCHOR BOLT
 ABV ABOVE
 AC ALTERNATING CURRENT
 ADDL ADDITIONAL
 AFD ABOVE FINISHED FLOOR
 AFG ABOVE FINISHED GRADE
 AGL ABOVE GROUND LEVEL
 AIC AMPERAGE INTERRUPTION CAPACITY
 ALUM ALUMINUM
 ALT ALTERNATE
 ANT ANTENNA
 APPROX APPROXIMATE
 ARCH ARCHITECTURAL
 ATS AUTOMATIC TRANSFER SWITCH
 AWG AMERICAN WIRE GAUGE
 BATT BATTERY
 BLDG BUILDING
 BLK BLOCK
 BLKG BLOCKING
 BM BEAM
 BTC BARE TINNED COPPER CONDUCTOR
 BOF BOTTOM OF FOOTING
 CAB CABINET
 CANT CANTILEVERED
 CHG CHARGING
 CLG CEILING
 CLR CLEAR
 COL COLUMN
 COMM COMMON
 CONC CONCRETE
 CONSTR CONSTRUCTION
 DBL DOUBLE
 DC DIRECT CURRENT
 DEPT DEPARTMENT
 DF DOUGLAS FIR
 DIA DIAMETER
 DAG DIAGONAL
 DIM DIMENSION
 DWG DRAWING
 DWL DOWEL
 EA EACH
 EC ELECTRICAL CONDUCTOR
 EL ELEVATION
 ELEC ELECTRICAL
 EMT ELECTRICAL METALLIC TUBING
 ENG ENGINEER
 EQ EQUAL
 EXP EXPANSION
 EXT EXTERIOR
 EW EACH WAY
 FAB FABRICATION
 FF FINISH FLOOR
 FG FINISH GRADE
 FIF FACILITY INTERFACE FRAME
 FIN FINISH(ED)
 FLR FLOOR
 FDN FOUNDATION
 FOC FACE OF CONCRETE
 FOM FACE OF MASONRY
 FOS FACE OF STUD
 FOW FACE OF WALL
 FS FINISH SURFACE
 FT FOOT
 FTG FOOTING
 GA GAUGE
 GEN GENERATOR
 GFCI GROUND FAULT CIRCUIT INTERRUPTER
 GLB GLUE LAMINATED BEAM
 GLV GALVANIZED
 GPS GLOBAL POSITIONING SYSTEM
 GND GROUND
 GSM GLOBAL SYSTEM FOR MOBILE
 HDG HOT DIPPED GALVANIZED
 HDR HEADER
 HGR HANGER
 HVAC HEAT/VENTILATION/AIR CONDITIONING
 HT HEIGHT
 IGR INTERIOR GROUND RING
 IN INCH
 INT INTERIOR
 LB(S) POUND(S)
 LF LINEAR FEET
 LTE LONG TERM EVOLUTION
 MAS MASONRY
 MAX MAXIMUM
 MB MACHINE BOLT
 MECH MECHANICAL
 MFR MANUFACTURER
 MGB MASTER GROUND BAR
 MH MINIMUM
 MISC MISCELLANEOUS
 MTL METAL
 MTS MANUAL TRANSFER SWITCH
 MW MICROWAVE
 NEC NATIONAL ELECTRIC CODE
 NM NEWTON METERS
 NO. NUMBER
 # NUMBER
 NTS NOT TO SCALE
 OC ON-CENTER
 OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
 OPNG OPENING
 P/C PRECAST CONCRETE
 PCS PERSONAL COMMUNICATION SERVICES
 PCU PRIMARY CONTROL UNIT
 PRC PRIMARY RADIO CABINET
 PP POLARIZING PRESERVING
 PSF POUNDS PER SQUARE FOOT
 PSI POUNDS PER SQUARE INCH
 PT PRESSURE TREATED
 PWR POWER CABINET
 QTY QUANTITY
 RAD RADIUS
 RECT RECTIFIER
 REF REFERENCE
 REINF REINFORCEMENT
 REQ'D REQUIRED
 RET REMOTE ELECTRIC TILT
 RF RADIO FREQUENCY
 RMC RIGID METALLIC CONDUIT
 RRH REMOTE RADIO HEAD
 RRU REMOTE RADIO UNIT
 RWY RACEWAY
 SCH SCHEDULE
 SHT SHEET
 SIAD SMART INTEGRATED ACCESS DEVICE
 SIM SIMILAR
 SPEC SPECIFICATION
 SQ SQUARE
 SS STAINLESS STEEL
 STD STANDARD
 STL STEEL
 TEMP TEMPORARY
 THK THICKNESS
 TMA TOWER MOUNTED AMPLIFIER
 TN TOE NAIL
 TOA TOP OF ANTENNA
 TOC TOP OF CURB
 TOP TOP OF FOUNDATION
 TOP TOP OF PLATE (PARAPET)
 TOS TOP OF STEEL
 TOW TOP OF WALL
 TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
 TYP TYPICAL
 UG UNDERGROUND
 UL UNDERWRITERS LABORATORY
 UNO UNLESS NOTED OTHERWISE
 UNITS UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
 UPS UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)
 VIF VERIFIED IN FIELD
 W WIDE
 W/ WITH
 WD WOOD
 WP WEATHERPROOF
 WT WEIGHT

ABBREVIATIONS



16812 ARMSTRONG AVE
 IRVINE, CA 92603



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RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
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A&E PROJECT NUMBER
 845322

DISH Wireless L.L.C.
 PROJECT INFORMATION
 LALAX02078A
 11818 OJAI/SANTA PAULA RD
 OJAI, CA 93023

SHEET TITLE
 LEGEND AND ABBREVIATIONS

SHEET NUMBER

GN-1

**County of Ventura
 Planning Director Hearing
 Case No. PL23-0110
 Exhibit 3 - Site Plans**

SIGN TYPES		
TYPE	COLOR	COLOR CODE PURPOSE
INFORMATION	GREEN	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF SITE OWNERSHIP & CONTACT NUMBER AND POTENTIAL RF EXPOSURE.
NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)

SIGN PLACEMENT:

- RF SIGNAGE PLACEMENT SHALL FOLLOW THE RECOMMENDATIONS OF AN EXISTING EME REPORT, CREATED BY A THIRD PARTY PREVIOUSLY AUTHORIZED BY DISH Wireless L.L.C.
- INFORMATION SIGN (GREEN) SHALL BE LOCATED ON EXISTING DISH Wireless L.L.C. EQUIPMENT.
A) IF THE INFORMATION SIGN IS A STICKER, IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. EQUIPMENT CABINET.
B) IF THE INFORMATION SIGN IS A METAL SIGN IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. H-FRAME WITH A SECURE ATTACH METHOD.
- IF EME REPORT IS NOT AVAILABLE AT THE TIME OF CREATION OF CONSTRUCTION DOCUMENTS; PLEASE CONTACT DISH Wireless L.L.C. CONSTRUCTION MANAGER FOR FURTHER INSTRUCTION ON HOW TO PROCEED.

NOTES:

1. FOR DISH Wireless L.L.C. LOGO, SEE DISH Wireless L.L.C. DESIGN SPECIFICATIONS (PROVIDED BY DISH Wireless L.L.C.)
2. SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (DISH Wireless L.L.C. APPROVAL REQUIRED)
3. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER DISH Wireless L.L.C. CONSTRUCTION MANAGER RECOMMENDATIONS.
4. CABINET/SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE
5. ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS STEEL TECH SCREWS
6. ALL SIGNS TO BE 8.5"x11" AND MADE WITH 0.04" OF ALUMINUM MATERIAL

INFORMATION

This is an access point to an area with transmitting antennas.

Obey all signs and barriers beyond this point.
Call the DISH Wireless L.L.C. NOC at 1-866-624-6874

Site ID: LALAX02078A



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

NOTICE



Transmitting Antenna(s)

Radio frequency fields beyond this point MAY EXCEED the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: LALAX02078A



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

CAUTION



Transmitting Antenna(s)

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WARNING



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Site ID: LALAX02078A



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

RF SIGNAGE



16812 ARMSTRONG AVE
IRVINE, CA 92603



1824 FRANCIS DR. STE 200 SANTA ANA, CA 92705
WWW.RLSUSA.COM PH: (714) 885-5232 FAX: (714) 453-9892



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DRAWN BY:	CHECKED BY:	APPROVED BY:
NN	DJL	DJL

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	02/23/2023	ISSUED FOR REVIEW
1	03/16/2023	ISSUED FOR FINAL

A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
RF SIGNAGE

SHEET NUMBER
GN-2

SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH Wireless L.L.C. AND TOWER OWNER NOC & THE DISH Wireless L.L.C. AND TOWER OWNER CONSTRUCTION MANAGER.
2. "LOOK UP" – DISH Wireless L.L.C. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH Wireless L.L.C. AND DISH Wireless L.L.C. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ON-SITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH Wireless L.L.C. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH DISH Wireless L.L.C. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH Wireless L.L.C. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH Wireless L.L.C. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH Wireless L.L.C. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR-GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER-DISH Wireless L.L.C.
TOWER OWNER-TOWER OWNER
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH Wireless L.L.C. AND TOWER OWNER
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



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DRAWN BY:	CHECKED BY:	APPROVED BY:
NN	DJL	DJL

RFDS REV #: 0

CONSTRUCTION DOCUMENTS		
SUBMITTALS		
REV	DATE	DESCRIPTION
A	02/23/2023	ISSUED FOR REVIEW
1	02/16/2023	ISSUED FOR FINAL
A&E PROJECT NUMBER 845322		
DISH Wireless L.L.C. PROJECT INFORMATION LALAX02078A 11818 OJAI/SANTA PAULA RD OJAI, CA 93023		
SHEET TITLE GENERAL NOTES		
SHEET NUMBER GN-3		

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**

CONCRETE FOUNDATIONS AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°F AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:

#4 BARS AND SMALLER 40 ksi

#5 BARS AND LARGER 60 ksi

6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

- CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
- CONCRETE EXPOSED TO EARTH OR WEATHER:
- #6 BARS AND LARGER 2"
- #5 BARS AND SMALLER 1-1/2"
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
- SLAB AND WALLS 3/4"
- BEAMS AND COLUMNS 1-1/2"

7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBER (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. TIE WRAPS ARE NOT ALLOWED.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECIMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH Wireless L.L.C. AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH Wireless L.L.C."
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



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NN	DJL	DJL
RFDS REV #:		0

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A&E PROJECT NUMBER
845322

DISH Wireless L.L.C.
PROJECT INFORMATION
LALAX02078A
11818 OJAI/SANTA PAULA RD
OJAI, CA 93023

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-4

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BITS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BITS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BITS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



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DISH Wireless L.L.C.
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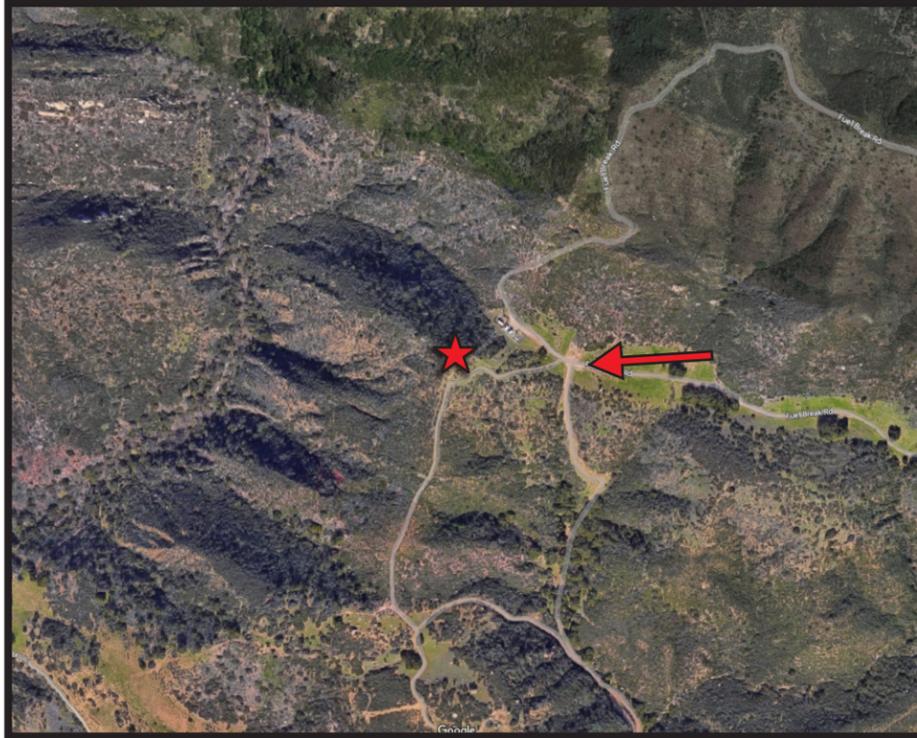
SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-5

**County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 3 - Site Plans**



AERIAL MAP



LALAX02078A

FIRE ROAD RIDGE

11818 OJAI/SANTA PAULA ROAD, OJAI, CA 93023

Prepared By:

550 N Parkcenter Dr.
Suite 200,
Santa Ana Ca, 92705
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PROPOSED VIEW 1



EXISTING



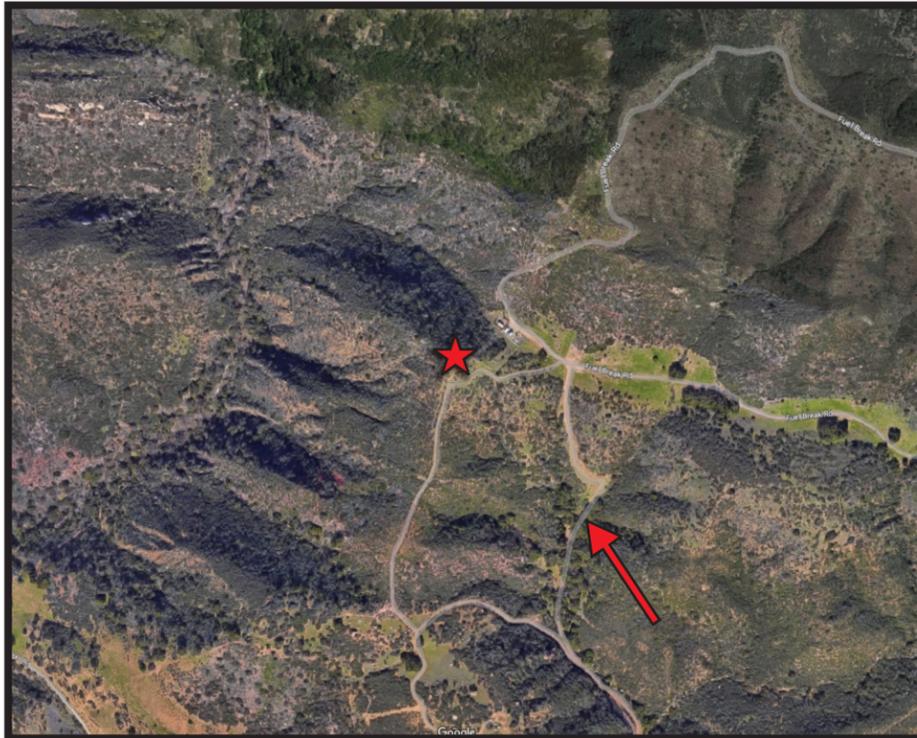
County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 4 - Photo Simulations

Accuracy of photo simulation based upon information provided by project
Every effort will

tially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts.
t be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



AERIAL MAP



EXISTING



LALAX02078A

FIRE ROAD RIDGE

11818 OJAI/SANTA PAULA ROAD, OJAI, CA 93023

County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 4 - Photo Simulations

Prepared By:
550 N Parkcenter Dr.
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Santa Ana Ca, 92705
(714) 685-0123
RLS
RELIANT LAND SERVICES

PROPOSED VIEW 2



Accuracy of photo simulation based upon information provided by project applicant. The proposed installation shown is a substantially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts.

Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



Exhibit 5 – General Plan and Ojai Valley Area Plan Consistency Analysis

County of Ventura • Resource Management Agency • Planning Division

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CONSISTENCY WITH THE GENERAL PLAN AND OJAI VALLEY AREA PLAN FOR CROWN CASTLE: FIRE ROAD RIDGE WIRELESS COMMUNICATION FACILITY, CASE NO. PL23-0110

The Ventura County General Plan *Goals, Policies and Programs* (2020, page 1-1) states:

All area plans, specific plans subdivision, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.

Furthermore, the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8111-1.2.1.1.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County General Plan.

The project would authorize the construction and operation of a Wireless Communication Facility (WCF) for a 10-year period (Case No. PL23-0110).

Evaluated below is the consistency of the project with the applicable policies of the General Plan *Goals, Policies and Programs*, as well as the Ojai Valley Area Plan *Goals and Policies*.

- 1. LU-16.1 Community Character and Quality of Life:** *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

COS-3.5 Ridgeline and Hilltop Preservation: *The County shall ensure that ridgelines and major hilltops remain undeveloped and that discretionary development is sited and designed to remain below significant ridgelines, except as required for communication or similar facilities.*

COS-3.6 Open Space Character: *The County shall require discretionary development outside of Existing Communities be planned and designed to maintain the scenic open space character of the surrounding area, including view corridors from highways. Discretionary development should integrate design, construction, and maintenance techniques that minimize the visibility of structures from public viewing locations within scenic vistas.*

OV-15.3 Assurance of Agricultural Operations in Open Space: *The County shall prohibit all discretionary development that would have a significant unavoidable impact on agricultural operations in Open Space designated lands unless a statement of overriding considerations is adopted by the decision-making body.*

County of Ventura
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Exhibit 5 - General Plan and Ojai Valley Area Plan
Consistency Analysis

OV-17.1 Community Compatibility: *The County shall require all discretionary development projects to be reviewed and conditioned to ensure that they are compatible with their surroundings, are of high quality and good design, are consistent with the character of the Ojai Valley, and are beneficial to the community as a whole.*

OV-41.1 Scenic Views and Vistas from Public Roads or Publicly-Owned Land: *The County shall prohibit discretionary development/grading which will significantly degrade or destroy a scenic view or vista from public roads or publicly-owned land, unless the development/grading is a public project, or a private project for which there is a substantial public benefit, and overriding considerations are adopted by the decision-making body.*

OV-41.3 Prominent Ridgelines Protection: *The County shall require the area within 400 feet (horizontal) of prominent ridgelines as shown in Figure OV-3 to be zoned "Scenic Resource Protection Overlay" in order to ensure that visual impacts of grading and attendant structures are minimized to the maximum extent feasible. The County shall require discretionary development to be located and designed to minimize visibility and silhouetting against the skyline as viewed from nearby public roads, and to incorporate as many of the following planning techniques as feasible:*

- a) Limit construction to single-story structures on or near ridgelines.*
- b) Utilize large building pad setbacks (50 feet or more) from the edge of a ridgeline.*
- c) Utilize berms and landscaping to soften the visual impact of homes and graded areas.*
- d) Utilize raised foundations, split-level designs, roof materials consisting of clay or concrete plate tile with a natural color, and other techniques to fit the home to the hillside terrain, and to minimize the amount of grading required.*

OV-42.1 Wireless Communication Facilities: *The County shall grant discretionary development permits for wireless communication facilities only when necessary for public safety or to provide a substantial public benefit. The County shall condition such facilities to minimize visual impacts to the maximum extent feasible.*

OV-42.2 Wireless Communication Facility Height Restriction: *The County shall limit discretionary development permits for wireless communication facilities the height of such facilities, with the exception of monopole whip-type antennas, to 40 feet. The County prefers several shorter facilities to one large facility.*

The proposed project is located in the Scenic Resource Protection Overlay zone and allows for the construction of a WCF that includes two (2) monopoles, 30 feet in height. The project is conditioned to ensure the WCF is painted to blend in with

the surrounding natural environment and rock formations (Exhibit 6, Condition No. 22). Furthermore, the mountainous topography and existing vegetation effectively camouflage the proposed WCF from public viewpoints on Reeves Road (Exhibit 7, Viewshed Analysis). Additionally, the proposed WCF is sited on a ridgeline nearly 3,000 feet from the closest agricultural operation and will not impact existing or future agricultural activities. Finally, the proposed WCF would provide expanded wireless telecommunication services to the surrounding area, including a more reliable network for emergency calls.

Based on the discussion above, the project is consistent with General Plan Policies LU16.1, COS-3.5, and COS-3.6 and Ojai Valley Area Plan Policies OV-15.3, OV-17.1, OV-41.1, OV-41.3, OV-42.1, and OV-42.2.

- 2. HAZ-5.2 Hazardous Materials and Waste Management Facilities:** *The County shall require discretionary development involving facilities and operations which may potentially utilize, store, and/or generate hazardous materials and/or wastes be located in areas that would not expose the public to a significant risk of injury, loss of life, or property damage and would not disproportionately impact Designated Disadvantaged Communities.*

The Department of Environmental Health (EHD) reviewed the project application. Pursuant to EHD's recommendation, the CUP for the proposed WCF would be subject to a condition of approval to require that the storage, handling, and disposal of any potentially hazardous material shall be in compliance with applicable state regulations (Exhibit 6, Condition No. 26).

Based on the discussion above, the project is consistent with General Plan Policy HAZ-5.2.

- 3. PFS-1.1 Equitable Provision of Public Facilities and Services:** *The County shall require that facilities and services that are essential for public health and safety shall be equitably provided for all residents and businesses.*

PFS-7.1 Accessible Public Utilities: *The County shall work with utility companies and service providers to ensure that gas, electric, broadband, cellular mobile communications, cable television, and telephone utility transmission lines are located appropriately to provide for adequate services throughout the unincorporated area.*

PFS-7.5 Broadband Service Access: *The County shall encourage broadband service providers to expand service areas and provide high quality access to broadband (high-speed internet) and cellular mobile communications services to residents and businesses, including unserved and underserved areas.*

The proposed WCF will provide expanded wireless telecommunication service throughout the unincorporated Ventura County area, including access to high quality cellular mobile communications. The proposed WCF ensures that residents and businesses in the coverage area receive a high quality of service.

Based on the discussion above, the project is consistent with General Plan Policies PFS-1.1, PFS-7.1, and PFS-7.5.

4. **PFS-11.4 Emergency Vehicle Access:** *The County shall require all discretionary development to provide, and existing development to maintain, adequate access for emergency vehicles, including two points of access for subdivisions and multifamily developments.*

PFS-12.4 Consistent Fire Protection Standards for New Development: *The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.*

PFS-Q Adequate Fire Flow – New Development: *The County shall continue to review all new development to ensure that an adequate level of water for fire flow and fire protection can be provided.*

CTM-2.28 Emergency Access: *The County shall ensure that all new discretionary projects are fully evaluated for potential impacts to emergency access. Mitigation of these impacts shall be handled on a project-by-project basis to guarantee continued emergency service operations and service levels.*

OV-34.1: Compliance with Fire Protection District and Sheriff's Department Requirements: *The County shall require discretionary development to comply with the requirements of the Fire Protection District and Sheriff's Department by providing adequate access for fire, law enforcement, emergency equipment and personnel, and evacuation.*

OV-35.1: Adequate Water for Firefighting: *The County shall require adequate water supplies and delivery system for firefighting purposes to serve any discretionary development in accordance with the standards of the Fire Protection District.*

OV-48.1: Adequate Water and Access for Firefighting: *The County shall condition discretionary development permits to provide adequate water and access for firefighting purposes as determined by the Fire Protection District. The County shall require adequate access and fire flow improvements to be completed prior to combustible construction.*

OV-48.2: Fuel Modification Zone Requirement: *The County shall require a Fire Protection District approved fuel modification zone (fuel break) of at least 100 linear feet to be provided around all combustible structures located in “high” or “very high” fire hazard areas.*

OV-49-1: High Fire Hazard Area Requirements: *The County shall require discretionary development within high fire hazard areas to be reviewed with attention to the environmental impact of required brush clearance to biological resources, particularly on moderate to steep slopes. The County shall encourage brush clearance that reduces fuel volumes while allowing the selective retention of native shrubs a minimum of 20 feet apart, as permitted by the Ventura County Fire Protection District.*

HAZ-1.4 Development in High Fire Hazard Severity Zones and Hazardous Fire Areas Policy: *The County shall require the recordation of a Notice of Fire Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas designated as Hazardous Fire Areas by the Ventura County Fire Department or High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection (CAL FIRE).*

The proposed project will be subject to conditions of approval that the Ventura County Fire Protection District (VCFPD) recommended to ensure compliance with all VCFPD regulations (Exhibit 6, Condition Nos. 27-31). Additionally, the proposed project is located in a High Fire Severity Zone and conditioned to require the recordation of a Notice of Fire Hazard (Exhibit 6, Condition No. 25). Finally, the proposed project is sited within an existing WCF compound that includes three (3) previously permitted WCFs. As such, all development, including the required brush clearance, will occur on previously disturbed areas of the project site and will not impact biological resources.

Based on the discussion above, the project is consistent with General Plan Policies PFS-11.4, PFS-12.4, PFS-Q, CTM-2.28, and HAZ-1.4 and Ojai Valley Area Plan Policies OV-34.1, OV-35.1, OV-48.1, OV-48.2, and OV-49.1.

**CONDITIONS OF APPROVAL FOR CROWN CASTLE FIRE ROAD RIDGE
WIRELESS COMMUNICATION FACILITY
CONDITIONAL USE PERMIT (CUP) CASE NO. PL23-0110**

Planning Division Conditions

1. Project Description

This Conditional Use Permit is based on and limited to compliance with the project description stated in this condition below, Exhibits 2 through 7 of the Planning Director hearing on March 7, 2024, and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

A CUP has been granted to authorize the construction and operation of a Wireless Communication Facility (WCF) for a 10-year period (Case No. PL23-0110). The proposed WCF will be designed as a stealth WCF comprised of two (2), 30-foot, monopoles with flush mounted panel antennas and a ground-mounted equipment cabinet. The proposed equipment cabinet will be installed in an existing 2,500 square-foot-fenced equipment compound (authorized by CUP LU12-0047). The proposed monopoles will be located approximately 275 feet southwest of the equipment compound. The equipment cabinet and monopoles will be connected by underground power and fiber cables routed via an existing conduit (authorized by LU12-0047).

The proposed WCF will be unmanned, except for occasional periodic maintenance visits, and would operate 24 hours per day. The WCF does not require water to operate. The site is accessed by an unpaved dirt road connected to Ojai Valley School Road.

2. Required Improvements for CUP

Purpose: To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

Requirement: The Permittee shall ensure that all required on-site improvements for the Project are completed in conformance with the approved plans stamped as hearing exhibit 3. The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

Documentation: The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file.

Timing: Prior to the issuance of a Zoning Clearance for construction the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to final inspection. The Permittee shall maintain the required improvements for the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance (NCZO).

3. Site Maintenance

Purpose: To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

Requirement: The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project.

Documentation: The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

Timing: The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the NCZO.

4. CUP Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this CUP. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a CUP

modification is required. If a CUP modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (CEQA; California Public Resources Code, §§ 21000-21178) and the State CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387), as amended from time to time.

5. Construction Activities

Prior to any construction, the Permittee shall obtain a Zoning Clearance for construction from the Planning Division, and a Building Permit from the Building and Safety Division. Prior to any grading, the Permittee shall obtain a Grading Permit from the Public Works Agency.

6. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this CUP and/or commencement of construction and/or operations under this CUP shall constitute the Permittee's formal agreement to comply with all conditions of this CUP. Failure to abide by and comply with any condition of this CUP shall constitute grounds for enforcement action provided in the Ventura County Non-Coastal Zoning Ordinance (Article 14), which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the CUP conditions listed herein;
- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this CUP.

The Permittee is responsible for being aware of and complying with the CUP conditions and all applicable federal, state, and local laws and regulations.

7. Time Limits

a. Use inauguration:

1. The approval decision for this CUP becomes effective upon the expiration of the 10-day appeal period following the approval decision/date on which the Planning Director rendered the decision on the Project, or when any

appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for use inauguration in order to initiate the land uses set forth in Condition No. 1.

2. This CUP shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for use inauguration within one year (see NCZO § 8111-4.7) from the date the approval decision of this CUP becomes effective. The Planning Director may grant a one-year extension of time to the Permittee in order to obtain the Zoning Clearance for use inauguration if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one-year expiration date.
 3. Prior to the issuance of the Zoning Clearance for use inauguration, all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for use inauguration, any final billed processing fees must be paid within 30 days of the billing date, or the County may revoke this CUP.
- b. Permit Life or Operations Period: This CUP will expire on [REDACTED]. The lack of additional notification of the expiration date provided by the County to the Permittee shall not constitute grounds to continue the uses that are authorized by this CUP after the CUP expiration date. The uses authorized by this CUP may continue after the CUP expiration date if:
1. The Permittee has filed a permit modification application pursuant to § 8111-6 of the Ventura County Non-Coastal Zoning Ordinance prior to [REDACTED]; and
 2. The County decision-maker grants the requested modification.

The uses authorized by this CUP may continue during processing of a timely-filed modification application in accordance with § 8111-2.10 of the NCZO.

8. Documentation Verifying Compliance with Other Agencies' Requirements Related to this CUP

Purpose: To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this CUP.

Requirement: Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this CUP) to verify that the

Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

Documentation: The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

Timing: The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for use inauguration or as dictated by the respective agency.

Monitoring and Reporting: The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. Notice of CUP Requirements and Retention of CUP Conditions On-Site

Purpose: To ensure full and proper notice of these CUP conditions affecting the use of the subject property.

Requirement: Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this CUP.

Documentation: The Permittee shall maintain a current set of CUP conditions and exhibits at the project site or, in the case of projects where this is impractical (e.g., telecommunication sites), use "present to the Planning Division staff copies of the conditions, upon Planning Division staff's request."

Timing: Prior to issuance of a Zoning Clearance for use inauguration and throughout the life of the Project.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the NCZO.

10. Recorded Notice of Land Use Entitlement

Purpose: The Permittee shall record a "Notice of Land Use Entitlement" form and the conditions of this CUP with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this CUP.

Requirement: The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a “Notice of Land Use Entitlement” form furnished by the Planning Division and the conditions of this CUP with the deed of the property that is subject to this CUP.

Documentation: Recorded “Notice of Land Use Entitlement” form and conditions of this CUP.

Timing: The Permittee shall record the “Notice of Land use Entitlement” form and conditions of this CUP, prior to issuance of a Zoning Clearance for use inauguration.

Monitoring and Reporting: The Permittee shall return a copy of the recorded “Notice of Land Use Entitlement” form and conditions of this CUP to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. Cost Responsibilities: The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the NCZO § 8114-3 related to this CUP. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.
- b. Establishment of Revolving Compliance Account: Within 10 calendar days of the effective date of the final decision approving this CUP, the Permittee shall submit the following deposit and reimbursement agreement to the Planning Director:
 - 1) A payment of \$500.00 for deposit into a revolving condition compliance and enforcement account to be used by the Planning Division to cover costs associated with condition compliance review, monitoring, and enforcement activities described in 10.a (above), and any duly-imposed civil administrative penalties regarding this. The Permittee shall replenish such account to the above-stated amount within 10 calendar days after receiving notice of the requirement to do so from the Resource Management Agency.

- 2) An executed reimbursement agreement, in a form provided by the Planning Division, obligating the Permittee to pay all condition compliance review, monitoring, and enforcement costs, and any civil administrative penalties, subject to the Permittee's right to challenge all such charges and penalties prior to payment.
- c. Billing Process: The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this CUP. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. Defense and Indemnification

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or enforcement of this CUP. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.
- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this CUP, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this CUP, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for

damage to persons or property; nor shall the issuance of this CUP serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

13. Invalidation of Condition(s)

If any of the conditions or limitations of this CUP are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining CUP conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this CUP, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This CUP shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this CUP, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this CUP may be revoked.

14. Consultant Review of Information and Consultant Work

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this CUP, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In

accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of CUP Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any CUP condition contained herein is in conflict with any other CUP condition contained herein, when principles of law do not provide to the contrary, the CUP condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this CUP for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this CUP nor compliance with the conditions of this CUP shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

The Permittee shall obtain a business tax certificate and regulatory licenses for the operation of the WCF.

16. Contact Person

Purpose: To designate a person responsible for responding to complaints.

Requirement: The Permittee shall designate a contact person(s) to respond to complaints from citizens and the County which are related to the permitted uses of this CUP. The designated contact person shall be available, via telecommunication, 24 hours a day.

Documentation: The Permittee shall provide the Planning Director with the contact information (e.g., name and/or position title, address, business and cell phone numbers, and email addresses) of the Permittee's field agent who receives all orders, notices, and communications regarding matters of condition and code compliance at the Project site.

Timing: Prior to the issuance of a Zoning Clearance for use inauguration, the Permittee shall provide the Planning Division the contact information of the Permittee's field agent(s) for the Project file. If the address or phone number of the Permittee's field agent(s) should change, or the responsibility is assigned to another person, the Permittee shall provide Planning Division staff with the new information in writing within three calendar days of the change in the Permittee's field agent.

Monitoring and Reporting: The Planning Division maintains the contact information provided by the Permittee in the Project file. The Planning Division has the authority to periodically confirm the contact information consistent with the requirements of § 8114-3 of the NCZO.

17. Resolution of Complaints

The following process shall be used to resolve complaints related to the Project:

- a. The Permittee shall post the telephone number for the designated Contact Person as identified pursuant to Condition No. 15 in a visible location on the site. The Contact Person shall be available via telephone on a 24-hour basis. Persons with concerns about a use as it is occurring may directly contact the Contact Person.
- b. If County staff receives a written complaint about the Project, Planning Division staff may contact the Permittee's Contact Person or the Permittee to request information regarding the alleged violation.
- c. If following a complaint investigation by County staff, a violation of the Ventura County Code or a condition of this CUP is confirmed, County staff may initiate enforcement actions pursuant to § 8114-3 of the NCZO.

18. Change of Permittee

Purpose: To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

Requirement: The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with final notice once the transfer of ownership and/or operational control has occurred.

Documentation: The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this CUP.

Timing: The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

Monitoring and Reporting: The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8114-3 of the NCZO.

19. Reporting of Major Incidents

Purpose: To ensure that the Planning Director is notified of major incidents associated with, or resulting from, the Project.

Requirement: The Permittee shall immediately notify the Planning Director by telephone, email, FAX, and/or voicemail of any incidents (e.g., fires, explosions, spills, landslides, or slope failures) that could pose a hazard to life or property inside or outside the Project Site.

Documentation: Upon request of any County agency, the Permittee shall provide a written report of any incident that shall include but is not limited to: a description of the facts of the incident; the corrective measures used, if any; and the steps taken to prevent a recurrence of the incident.

Timing: The Permittee shall provide the written report to the requesting County agency and Planning Division within seven days of receiving the request.

Monitoring and Reporting: The Planning Division maintains any documentation provided by the Permittee related to major incidents in the Project file.

20. Future Collocation of Wireless Telecommunication Facilities and Equipment

Purpose: To reduce the number of communication facilities and minimize the potential environmental impacts associated with such facilities.

Requirement: The Permittee shall avail its facility and site to other telecommunication carriers and, in good faith, accommodate all reasonable requests for collocation in the future subject to the following parameters:

- a. The party seeking the collocation shall be responsible for all facility modifications, environmental review, mitigation measures, associated costs, and permit processing.
- b. The Permittee shall not be required to compromise the operational effectiveness of its facility or place its prior approval at risk.
- c. The Permittee shall make its facilities and site available for collocation on a non-discriminatory and equitable cost basis.
- d. The County retains the right to verify that the use of the Permittee's facilities and site conforms to County policies.

Documentation: Permittee shall demonstrate to the satisfaction of the Planning Director that the wireless telecommunications tower associated with the communication facility is engineered in a manner that can accommodate supplementary antennas to collocate at least one additional telecommunication carrier.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit evidence to the Planning Division that the facility is engineered to accommodate the collocation of at least one additional carrier.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the NCZO.

21. Removal of Facility upon Abandonment of Use or Expiration of Permit

Purpose: In compliance with § 8111-2.8 and § 8111-8.1 of the NCZO and in order to ensure that the use of the subject property remains compatible with existing and potential uses of other property within the general area, the communication facility shall be removed if this CUP expires or if the facility is abandoned.

Requirement: Upon the expiration of this CUP, or abandonment of the use of the communication facility, the Permittee shall:

- a. Notify the County that the Permittee has discontinued the use of the facility.
- b. Remove the facility and all appurtenant structures.
- c. Restore the premises to the conditions existing prior to the issuance of the CUP, to the extent feasible as determined by the Planning Director.

In the event that the Permittee fails to perform the required actions, the Property Owner shall be responsible for compliance with the requirements set forth in this condition. The facility shall be considered to be abandoned if it has not been in use for 12 continuous months.

Documentation: The Permittee shall provide photos of the site after restoration is completed, to the County Planning Division.

Timing: The Permittee shall complete the notification, removal, and restoration activities within 60 days of the expiration of this CUP, or abandonment of the use, unless the Planning Director grants (in writing) additional time.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure compliance with this condition consistent with the requirements of § 8114-3 of the NCZO.

22. Color/Material/Manufacture Specifications

Purpose: To ensure that buildings and structures comply with the development standards of the NCZO and Ventura County General Plan Policy COS-3.5.

Requirement: The Permittee shall:

- a. Construct and maintain the exterior surfaces of all buildings and structures of the communication facility using building materials and colors that are compatible with surrounding terrain and rock formations (e.g., earth tones and non-reflective paints).
- b. Provide the manufacturer's specifications and model numbers of all tower, antenna, and ancillary equipment (e.g., batteries, equipment in cabinets, GPS, and antennae) on all development plans.
- c. Construct and maintain the site in compliance with the approved plans and photo-simulations.
- d. Provide photos to the Planning Division for review and approval to verify that the facility is constructed in compliance with the approved plans, photo simulations, and materials sample/color board.

Documentation: The Permittee shall provide plans, photo simulations, a materials sample/color board, and photos of the constructed WCF to the Planning Division for review and approval.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall provide plans, photo simulations, and a materials sample/color board for the Planning Division's review and approval. Prior to the issuance of a Zoning Clearance for use inauguration, the Permittee shall provide the photo documentation described above for the Planning Division's review and approval.

Monitoring and Reporting: The Planning Division maintains copies of the approved plans, photo simulations, materials sample/color board, and photos described above in the Project file. The Planning Division has the authority to ensure ongoing compliance with this condition pursuant to the requirements of § 8114-3 of the NCZO.

23. Paleontological Resources Inadvertently Discovered During Grading

Purpose: In order to mitigate potential impacts to paleontological resources that may be encountered during ground disturbance or construction activities.

Requirement: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall:

1. Cease operations and assure the preservation of the area in which the discovery was made.
2. Notify the Planning Director in writing, within three days of the discovery.
3. Obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide a report that assesses the resources and sets forth recommendations on the proper disposition of the site.
4. Obtain the Planning Director's written concurrence with the recommended disposition of the site before resuming development.
5. Implement the agreed upon recommendations.

Documentation: The Permittee shall submit the paleontologist's or geologist's reports. Additional documentation may be required to demonstrate that the Permittee has implemented the recommendations set forth in the paleontological report.

Timing: If any paleontological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the paleontological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the paleontological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the paleontological report to the satisfaction of the Planning Director. The paleontologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the recommendations made in the paleontological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the paleontological report, consistent with the requirements of § 8114-3 of the NCZO.

24. Archaeological Resources Discovered During Grading

Purpose: In order to mitigate potential impacts to archaeological resources discovered during ground disturbance.

Requirement: The Permittee shall implement the following procedures.

1. If any archaeological or historical artifacts are uncovered during ground disturbance or construction activities, the Permittee shall:
 - a. Cease operations and assure the preservation of the area in which the discovery was made.

- b. Notify the Planning Director in writing, within three days of the discovery.
 - c. Obtain the services of a County-approved archaeologist who shall assess the find and provide recommendations on the proper disposition of the site in a written report format.
 - d. Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development.
 - e. Implement the agreed upon recommendations.
2. If any human burial remains are encountered during ground disturbance or construction activities, the Permittee shall:
- a. Cease operations and assure the preservation of the area in which the discovery was made.
 - b. Immediately notify the County Coroner and the Planning Director.
 - c. Obtain the services of a County-approved archaeologist and, if necessary, Native American Monitor(s), who shall assess the find and provide recommendations on the proper disposition of the site in a written report format.
 - d. Obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming development on-site.
 - e. Implement the agreed upon recommendations.

Documentation: If archaeological remains are encountered, the Permittee shall submit a report prepared by a County-approved archaeologist including recommendations for the proper disposition of the site. Additional documentation may be required to demonstrate that the Permittee has implemented any recommendations made by the archaeologist's report.

Timing: If any archaeological remains are uncovered during ground disturbance or construction activities, the Permittee shall provide the written notification to the Planning Director within three days of the discovery. The Permittee shall submit the archaeological report to the Planning Division immediately upon completion of the report.

Monitoring and Reporting: The Permittee shall provide the archaeological report to the Planning Division to be made part of the Project file. The Permittee shall implement any recommendations made in the archaeological report to the satisfaction of the Planning Director. The archaeologist shall monitor all ground disturbance activities within the area in which the discovery was made, in order to ensure the successful implementation of the

recommendations made in the archaeological report. The Planning Division has the authority to conduct site inspections to ensure that the Permittee implements the recommendations set forth in the archaeological report, consistent with the requirements of § 8114-3 of the NCZO.

25. Notice of Fire Hazard

Purpose: To comply with General Plan Policy HAZ 1.4. The policy states, “The County shall require the recordation of a Notice of Fire Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas designated as Hazardous Fire Areas by the Ventura County Fire Department or High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection.”

Requirement: The Permittee shall record a Notice of Fire Hazard with the County Recorder.

Timing: Prior to the issuance of a Zoning Clearance for use inauguration, the Permittee shall record a Notice of Fire Hazard with the County Recorder.

Monitoring and Reporting: The Permittee shall return a copy of the recorded Notice of Fire Hazard to Planning Division staff to be included in the Project file.

Environmental Health Division (EHD) Conditions

26. Hazardous Materials/Waste Management (General Notice)

Purpose: To ensure the storage, handling, and disposal of any potentially hazardous material complies with applicable State and local regulations.

Requirement: If hazardous materials above reporting thresholds (200 cubic feet gas, 55 gallons liquid, 500 pounds solid) are stored onsite, or any hazardous wastes are generated, additional permitting, monitoring, and reporting requirements would apply. Used batteries must be properly disposed of or recycled in accordance with state and local regulations. Additional information on the storage and handling requirements for hazardous materials and wastes may be found on the Ventura County Environmental Health Division/Certified Unified Program Agency website: <https://vcrma.org/cupa>.

Monitoring: When applicable, the Ventura County Environmental Health Division/Certified Unified Program Agency issues hazardous material and hazardous waste permits and conducts site inspections.

Ventura County Fire Protection District (VCFPD) Conditions

27. Fire Department Clearance: Applicant shall obtain VCFPD Form #610B "Requirements for Construction" prior to obtaining a building permit for any new structures or additions to existing structures.
28. 10-Foot Brush Clearance Along Road: Provide and maintain a minimum 10-foot brush clearance along each side of the required Fire District access roads, driveways, and turnarounds serving structure(s) prior to any construction.
29. 100-Foot Brush Clearance: Provide and maintain 100-foot defensible space/brush clearance zone, but not beyond the property line from all existing and new structures prior to any construction.
30. Obtain Fire Permits: Obtain applicable Ventura County Fire Code Permits.
31. Vertical Clearance: Provide and maintain a minimum 13-foot, 6-inch (13' 6") vertical clearance along all required Fire District access roads, driveways, and turnarounds prior to any construction.

Ventura County Air Pollution Control District

32. Nuisance

Purpose: To ensure that discharge of air contaminants (odor, dust, etc.) that may result from site operations are minimized to the greatest extent feasible.

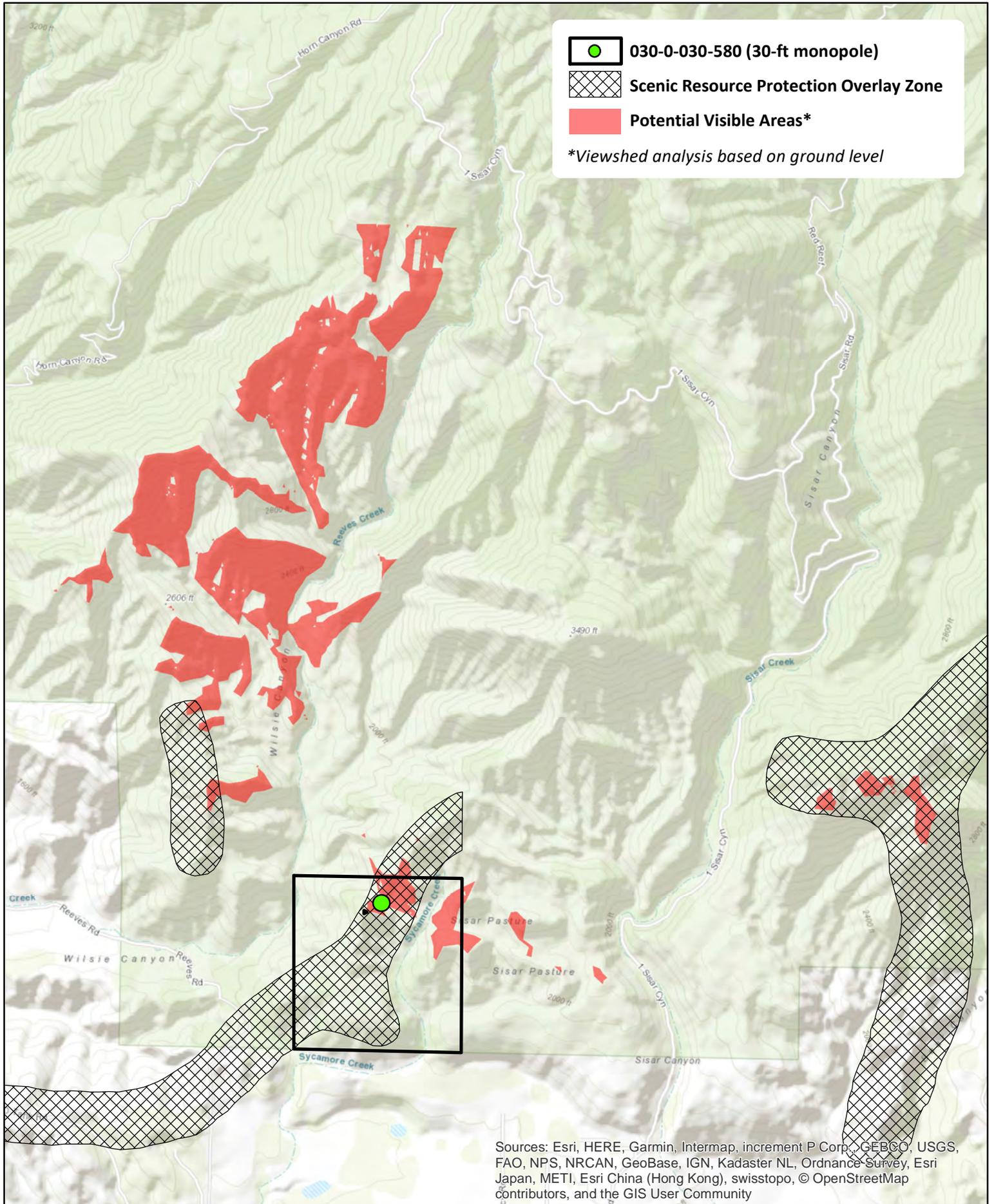
Requirement: Permittee shall operate in accordance with the Rules and Regulations of the Ventura County Air Pollution Control District, with emphasis on Rule 51, Nuisance, stated below:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance or annoyance to any considerable number of persons or to the public or which endangers the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to business or property.

Documentation: No documentation is required for the purposes of this condition.

Timing: Throughout the life of the permit.

Monitoring and Reporting: Monitoring and enforcement of nuisance provision is enforceable by APCD on a complaint-driven basis.



 **030-0-030-580 (30-ft monopole)**
 **Scenic Resource Protection Overlay Zone**
 **Potential Visible Areas***
**Viewshed analysis based on ground level*

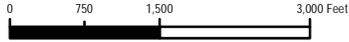
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community



Ventura County
Resource Management Agency
Information Systems GIS Services
Map created on 1/24/2024



County of Ventura
Planning Director Hearing
Case No. PL23-0110
Exhibit 7 - Viewshed Analysis



Disclaimer: this map was created by the Ventura County Resource Management Agency Information Systems GIS, which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance therein

