



## Planning Director Staff Report– Hearing on November 4, 2021

County of Ventura • Resource Management Agency

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### MCGINITY RESIDENCE COASTAL PLANNED DEVELOPMENT, CASE NO. PL20-0138

#### A. PROJECT INFORMATION

1. **Request:** The applicant requests approval of a Coastal Planned Development (PD) permit for an addition to an existing single-family dwelling (Case No. PL20-0138).
2. **Applicant:** Jose Eduardo Gonzalez, 2907 Buckingham Road, Los Angeles, CA 90016
3. **Property Owner:** Timothy and Gregory McGinity, 3321 Ocean Drive, Oxnard, CA 93035
4. **Decision-Making Authority:** Pursuant to the Ventura County Coastal Zoning Ordinance (CZO) (Section 8174-5 and Section 8181-3 et seq.), the Planning Director is the decision-maker for the requested PD Permit.
5. **Project Site Size, Location, and Parcel Number:** The 0.06-acre/2,625-square foot project site is located at 3321 Ocean Drive, approximately 180 feet north of Santa Ana Avenue, in the community of Hollywood Beach, in the unincorporated area of Ventura County. The Tax Assessor's parcel number for the parcel that constitutes the project site is 206-0-233-130 (Exhibit 2).
6. **Project Site Land Use and Zoning Designations (Exhibit 2):**
  - a. Countywide General Plan Land Use Map Designation: Residential Beach
  - b. Coastal Area Plan Land Use Map Designation: Residential High, 6.1-36 DU/acre
  - c. Zoning Designation: RBH (Residential Beach Harbor)
7. **Adjacent Zoning and Land Uses/Development (Exhibit 2):**

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	RBH (Residential Beach Harbor)	Single-family dwellings
East	RBH (Residential Beach Harbor)	Single-family dwellings
South	RBH (Residential Beach Harbor)	Single-family dwellings

Location in Relation to the Project Site	Zoning	Land Uses/Development
West	COS-10 ac (Coastal Open Space, 10 acre minimum parcel size)	Beach

**9. History:** The subject property is part of the Hollywood Beach Tract (Block A, Lot 48), which was subdivided in 1924. The existing single-family dwelling was originally constructed in 1956 under Building Permit No. 5022 as a single-story home with attached garage. The garage maintains a front setback of 8 foot, 6 inches, which was legally established, but is now non-conforming. In 1981, under Coastal Commission Permit No. 4-81-384 and Zoning Clearance 37070, construction of a second floor over the rear portion of the structure was approved. In 1984, PD No. 1224 was approved authorizing a second-floor addition of a bedroom and bathroom at the front of the residence. This addition was never constructed, and the PD permit expired.

**10. Project Description:** The Project is a request for a Coastal Planned Development (PD) Permit to authorize a 667 square foot (sq. ft.) addition to the second floor of an existing 1,797 sq. ft. two-story single-family beachfront dwelling with a 388 sq. ft. attached two-car garage. The proposed addition includes the addition of 2 bedrooms making the bedroom count 4 and the square footage of the residence to total 2,464 sq. ft. of living space. The project will also include reinforcement of ground floor walls under the proposed addition through the installation of half-inch plywood panels.<sup>1</sup> The existing building coverage is 1,555 sq. ft. and will not increase with the second-story addition. Parking requirements will be met with the existing two-car garage.

Access to the project site is provided by a private driveway which connects to Ocean Drive. Water and sewer services will be provided by Channel Islands Beach Community Services District. (Exhibit 3)

**B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE**

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

The State Legislature through the Secretary for Resources has found that certain classes of projects are exempt from CEQA environmental impact review because they do not have a significant effect on the environment. These projects are declared to be categorically exempt from the requirement for the preparation of environmental impact documents. The proposed project involves an addition to an existing single-family

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<sup>1</sup> The project does not constitute a “substantial improvement,” because construction costs are estimated to be less than 50 percent of the improvement value on the property (County of Ventura – FEMA 50% Substantial Cost Improvement Breakdown for 3321 Ocean Drive; Blue Coast, Inc.; June 7, 2021).

dwelling. Therefore, the project is determined not to have a significant effect on the environment pursuant to CEQA Section 15301, Existing Facilities. Further, the project will not trigger any of the exceptions to the exemptions listed under CEQA Guidelines Section 15300.2. Therefore, no further environmental review is required.

### **C. CONSISTENCY WITH THE GENERAL PLAN**

The 2040 Ventura County General Plan *Goals, Policies and Programs* (2020, page 1-1) states:

*All area plans, specific plans subdivision, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.*

Finally, the Ventura County CZO (Section 8181-3.5.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County Coastal Area Plan.

Evaluated below is the consistency of the proposed project with the applicable policies of the *Ventura County General Plan Goals, Policies and Programs* and *Coastal Area Plan*.

#### **Land Use and Community Character**

- 1. General Plan Policy LU-16.1 (Community Character and Quality of Life):** *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

**General Plan Policy LU-16.8 (Residential Design that Complements the Natural Environment):** *The County shall encourage discretionary development that incorporates design features that provide a harmonious relationship between adjoining uses and the natural environment.*

**General Plan Policy LU-16.9 (Building Orientation and Landscaping):** *The County shall encourage discretionary development to be oriented and landscaped to enhance natural lighting, solar access, and passive heating or cooling opportunities to maximize energy efficiency.*

**General Plan Policy COS-3.1 (Scenic Roadways):** *The County shall protect the visual character of scenic resources visible from state or County designated scenic roadways.*

**Coastal Act Section 30250(a) (Location; Existing Developed Area):** *New residential, commercial, or industrial development, except as otherwise provided in this division, shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it or, where such areas are not*

*able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than leases for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and the created parcels would be no smaller than the average size of surrounding parcels.*

**Coastal Act Section 30251 (Scenic and Visual Qualities):** *The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.*

**Coastal Act Section 30253(e) (Minimization of Adverse Impacts):** *New development shall do all of the following:*

- (e) Where appropriate, protect special communities and neighborhoods that, because of their unique characteristics, are popular visitor destination points for recreational uses.*

The project site is zoned RBH (Residential Beach Harbor) and is located between Ocean Drive and Hollywood Beach. The purpose and intent of the RBH zone is to provide for development and preservation of unique beach-oriented residential communities with small-lot subdivision patterns. The single-family dwelling is located on a 35-foot-wide by 75-foot-long lot, which is the standard lot configuration in the Hollywood Beach Tract. The permitted maximum building coverage in the RBH zone is 65 percent; the dwelling and proposed addition will have a building coverage of 64 percent. The project will result in no increase in height from the existing two-story dwelling, which is 23 feet. The proposed project includes the construction of a second-floor addition at the front (street side) of the residence. When considered within the existing community of dwellings that currently obstruct public views of the beach, the project would not lead to a significant adverse impact to public views as seen from Ocean Drive.

The proposed residential addition would not degrade or significantly alter the existing scenic or visual qualities of the Hollywood Beach community and will be similar in visual character (e.g., size, scale, and style) to other residential dwellings in the surrounding area. In the immediate vicinity of the project site, neighboring homes vary in size from 1,100 sq. ft. to 5,300 sq. ft. and include a variety of architectural styles and forms. With the proposed addition, the residence would be within the range of house sizes in the area. Therefore, the single-family dwelling

addition would be visually compatible with the character of the surrounding area and will not significantly degrade visual resources or obscure significant views both from and to the coast.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Land Use and Community Character Policies LU-16.1, LU-16.8, LU-16.9, and COS-3.1 and Coastal Act Sections 30250(a), 30251, and 30253(e).

## **Circulation, Transportation and Mobility**

- 2. General Plan Policy CTM-1.1 (Vehicle Miles Travelled (VMT) Standards and CEQA Evaluation):** *The County shall require evaluation of County General Plan land use designation changes, zone changes, and discretionary development for their individual (i.e., project-specific) and cumulative transportation impacts based on Vehicle Miles Traveled (VMT) under the California Environmental Quality Act (CEQA) pursuant to the methodology and thresholds of significance criteria set forth in the County Initial Study Assessment Guidelines.*

**General Plan Policy CTM-1.4 (Level of Service Evaluation)** *County General Plan land use designation changes and zone changes shall be evaluated for their individual (i.e., project-specific) and cumulative effects, and discretionary developments shall be evaluated for their individual effects, on Level of Service (LOS) on existing and future roads, to determine whether the project:*

- a. *Would cause existing roads within the Regional Road Network or County-maintained roadways that are currently functioning at an acceptable LOS to function below an acceptable LOS;*
- b. *Would add traffic to existing roads within the Regional Road Network or County-maintained roadways that are currently functioning below an acceptable LOS; and*
- c. *Could cause future roads planned for addition to the Regional Road Network or County maintained roadways to function below an acceptable LOS.* d. *The Level of Service (LOS) evaluation shall be conducted based on methods established by the County.*

**General Plan Policy CTM-1.7 (Pro Rata Share of Improvements):** *The County shall require discretionary development that would generate additional traffic pays its pro rata share of the cost of added vehicle trips and the costs of necessary improvements to the Regional Road Network pursuant to the County's Traffic Impact Mitigation Fee Ordinance.*

**Coastal Act Section 30253(d) (Minimization of Adverse Impacts):** *New development shall do all of the following:*

(d) *Minimize energy consumption and vehicle miles traveled.*

The existing single-family dwelling connects to the County roadway network by way of a private driveway to Ocean Drive. Ventura County Public Works Agency Roads and Transportation Department staff have reviewed the proposed project and determined that approval of the project will not result in the degradation of LOS for any identified roadway segments or intersections within the project area. Because the proposed addition will not generate additional traffic, there is no need to pay for a pro-rata share of Regional Road Network improvements.

The California Natural Resources Agency has adopted new CEQA Guidelines that require an analysis of vehicle miles travelled (VMT). Based on guidance provided by the Office of Planning and Research (OPR), certain projects may be screened out of requiring VMT analysis, because their impacts are known to be less than significant. Screened projects include those that generate fewer than 110 average daily vehicle trips. As proposed, the project will not generate additional vehicle trips beyond what the existing single-family dwelling already generates. Based on this, the project is exempt from further VMT analysis.

Based upon the above discussion, the proposed project is consistent with *Ventura County General Plan* Circulation, Transportation and Mobility Policies CTM-1.1, CTM-1.4, and CTM-1.7, and Coastal Act Section 30253(d).

**Public Facilities, Services, and Infrastructure, Water Resources, Hazards and Safety**

- 3. General Plan Policy PFS-1.7 (Public Facilities, Services, and Infrastructure):** *The County shall only approve discretionary development in locations where adequate public facilities, services, and infrastructure are available and functional, under physical construction, or will be available prior to occupancy.*

**General Plan Policy WR-1.11 (Adequate Water for Discretionary Development):** *The County shall require all discretionary development to demonstrate an adequate long-term supply of water.*

**General Plan Policy WR-3.2 (Water Use Efficiency for Discretionary Development):** *The County shall require the use of water conservation techniques for discretionary development, as appropriate. Such techniques include low-flow plumbing fixtures in new construction that meet or exceed the California Plumbing Code, use of graywater or reclaimed water for landscaping, retention of stormwater runoff for direct use and/or groundwater recharge, and landscape water efficiency standards that meet or exceed the standards in the California Model Water Efficiency Landscape Ordinance.*

The existing dwelling is served by the Channel Islands Beach Community Services District (CIBCSD) for both water and wastewater disposal. A recent water bill (dated December 1, 2020) provides verification of service. CIBCSD is a member of the Port Hueneme Water Agency. Port Hueneme Water Agency maintains an Urban Water Management Plan (UWMP), which it implements and regularly updates to ensure a long-term sustainable water supply for its users. CIBCSD has an approved Water Availability Letter on file with the Ventura County Public Works Agency (May 18, 2015).

The proposed project will be required to meet the standards of the California Plumbing Code and California Building Code. These standards include requirements for water conservation, low flow plumbing fixtures, and efficient appliances. No landscaping is proposed as part of this project.

The project will not interrupt the continued delivery of emergency services or significantly degrade service levels for Police and Fire within the Hollywood Beach community. Ventura County Fire Protection District (VCFPD) Station 53 is approximately 5.3 miles southeast in the City of Port Hueneme. VCFPD does maintain a mutual aid agreement with the City of Oxnard, which operates Oxnard Fire Department Station 6, located 1.5 miles north of the project site. Police services are provided by the Ventura County Sheriff, with the nearest station at the County Government Center, approximately 9 miles north. The Oxnard Police Department, located at 251 South C Street, 5.5 miles northeast of the project site, may also respond to emergencies.

The site is in the Oxnard School District and Oxnard Union High School District. The nearest library is also in the City of Oxnard (Oxnard Public Library, 251 South A Street, 5.5 miles northeast of the project site). There are no nearby County parks, but the project site is immediately adjacent to a state beach. Additionally, Oxnard Beach Park is located 1.8 miles north in the City of Oxnard.

Access to the site is by way of Ocean Drive, a public road. The project site's Ocean Drive frontage has been improved with a rolled curb, gutter, and sidewalk.

Based upon the above discussion, the proposed project is consistent with *Ventura County General Plan* Public Facilities, Services, and Infrastructure Policy PFS-1.7 and Water Resources Policies WR-1.11 and WR-3.2.

4. **General Plan Policy PFS-5.9 (Waste Reduction Practices for Discretionary Development):** *The County shall encourage applicants for discretionary development to employ practices that reduce the quantities of wastes generated and engage in recycling activities to further reduce the volume of waste disposed of in landfills.*

The proposed residential addition would not result in a significant generation of waste. CIBCSD will continue to provide curbside garbage and recycling pickup services to the project site.

As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, Ventura County has at least 15 years of disposal capacity available for waste generated by in-County projects. Because the County currently exceeds the minimum disposal capacity required by the state PRC, the proposed project will have less than a significant project-specific impact upon Ventura County's solid waste disposal capacity. Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities to reuse, salvage, recycle, or compost a minimum of 65% of the solid waste generated by their project. The Integrated Waste Management Division's (IWMD) waste diversion program (Form B Recycling Plan/Form C Report) ensures this 65% diversion goal is met prior to Building and Safety Division's issuance certificate of occupancy, consistent with the Ventura County General Plan. The project has been conditioned to address recycling during the demolition and construction phases of the project (Exhibit 4, Condition Nos. 18 and 19).

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities, Services, and Infrastructure Policy PFS-5.9.

- 5. General Plan Policy PFS-6.1 (Flood Control and Drainage Facilities Required for Discretionary Development):** *The County shall require discretionary development to provide flood control and drainage facilities, as deemed necessary by the County Public Works Agency and Watershed Protection District. The County shall also require discretionary development to fund improvements to existing flood control facilities necessitated by or required by the development.*

**General Plan Policy PFS-6.5 (Stormwater Drainage Facilities):** *The County shall require that stormwater drainage facilities are properly designed, sited, constructed, and maintained to efficiently capture and convey runoff for flood protection and groundwater recharge.*

**General Plan Policy WR-2.2 (Water Quality Protection for Discretionary Development):** *The County shall evaluate the potential for discretionary development to cause deposition and discharge of sediment, debris, waste, and other contaminants into surface runoff, drainage systems, surface water bodies, and groundwater. In addition, the County shall evaluate the potential for discretionary development to limit or otherwise impair later reuse or reclamation of wastewater or stormwater. The County shall require discretionary development to minimize potential deposition and discharge through point source controls, storm water treatment, runoff reduction measures, best management practices, and low impact development.*

**General Plan Policy WR-3.3 (Low-Impact Development):** *The County shall require discretionary development to incorporate low impact development design features and best management practices, including integration of stormwater capture facilities, consistent with County's Stormwater Permit.*

**General Plan Policy HAZ-2.5 (Recordation of a Notice of Flood Hazard):** *The County shall require the recordation of a Notice of Flood Hazard with the County Recorder for all new discretionary entitlements (including subdivisions and land use permits) within areas subject to flooding as determined by the Federal Emergency Management Agency on the latest available Digital Flood Insurance Rate Maps (DFIRMs).*

**General Plan Policy HAZ-4.5 (Soil Erosion and Pollution Prevention):** *The County shall require discretionary development be designed to prevent soil erosion and downstream sedimentation and pollution.*

The proposed project involves a second-floor addition to an existing single-family dwelling. No new site disturbance is proposed. The project would not introduce new impervious surfacing or alter drainage patterns. Therefore, drainage characteristics (e.g., volume, peak flow, etc.) will remain unchanged from existing conditions. There is, therefore, no need for new drainage or stormwater control facilities.

Based on the above discussion, the proposed project is consistent with Ventura County General Plan Public Facilities, Services, and Infrastructure Policies PFS-6.1, PFS-6.5, WR-3.3, and Hazards and Safety Policies HAZ-2.5, HAZ-4.5.

## **Conservation and Open Space**

- 6. General Plan Policy COS-1.1 (Protection of Sensitive Biological Resources):** *The County shall ensure that discretionary development that could potentially impact sensitive biological resources be evaluated by a qualified biologist to assess impacts and, if necessary, develop mitigation measures that fully account for the impacted resource. When feasible, mitigation measures should adhere to the following priority: avoid impacts, minimize impacts, and compensate for impacts. If the impacts cannot be reduced to a less than significant level, findings of overriding considerations must be made by the decision-making body.*

The project site is a developed lot in the Existing Community of Hollywood Beach. The lot is approximately 2,625 sq. ft. in size and is developed with a single-family dwelling that covers approximately 64 percent of the lot. The remainder of the lot includes a rear patio and front yard that is surfaced with stamped concrete. There is no substantial vegetation on the parcel. Because there are no biological resources on the site and proposed construction is limited to a second-floor

addition, there is no potential for impact to biological resources. Therefore, a biological evaluation was not required.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Conservation and Open Space Policy COS-1.1.*

- 7. General Plan Policy COS-2.1 (Beach Erosion):** *The County shall strive to minimize the risk from the damaging effects of coastal wave hazards and beach erosion and reduce the rate of beach erosion, when feasible.*

The project does not constitute a “substantial improvement” because the construction costs are estimated to be less than 50 percent of the improvement value on the property (County of Ventura – FEMA 50% Substantial Improvement Cost Breakdown; Blue Coast, Inc.; June 7, 2021). As a result, the project is exempt from the requirement for a coastal hazard and wave run-up analysis. Because the addition is on the second floor of the structure and no new site disturbance will occur, the addition is not expected to experience coastal flooding or cause beach erosion hazards.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Conservation and Open Space Policy COS-2.1.*

- 8. General Plan Policy COS-4.2b (Cooperation for Tribal Cultural Resource Protection):** *For discretionary projects, the County shall request local tribes contact information from Native American Heritage Commission, to identify known tribal cultural resources. If requested by one or more of the identified local tribes, the County shall engage in consultation with each local tribe to preserve, and determine appropriate handling of, identified resources within the county.*

**General Plan Policy COS-4.4 (Discretionary Development and Tribal, Cultural, Historical, Paleontological, and Archaeological Resource Preservation):** *The County shall require that all discretionary development projects be assessed for potential tribal, cultural, historical, paleontological, and archaeological resources by a qualified professional and shall be designed to protect existing resources. Whenever possible, significant impacts shall be reduced to a less-than-significant level through the application of mitigation and/or extraction of maximum recoverable data. Priority shall be given to measures that avoid resources.*

**Coastal Act Section 30244 (Archaeological and Paleontological Resources):** *Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.*

**Coastal Area Plan Policy 4.1.1.1:** *Discretionary development shall be reviewed to identify potential locations for sensitive archaeological resources.*

**Coastal Area Plan Policy 4.1.1.2:** *New development shall be sited and designed to avoid adverse impacts to archaeological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to archaeological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to archaeological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to archaeological resources cannot be avoided, mitigation shall be required and shall be designed in accordance with established federal, state and/or County standards and shall be consistent with the policies and provisions of the LCP.*

**Coastal Area Plan Policy 4.1.2.1:** *Discretionary development shall be reviewed to determine the geologic unit(s) to be impacted and paleontological significance of the geologic rock units containing them.*

**Coastal Area Plan Policy 4.1.2.2:** *New development shall be sited and designed to avoid adverse impacts to paleontological resources to the maximum extent feasible. If there is no feasible alternative that can eliminate all impacts to paleontological resources, then the alternative that would result in the fewest or least significant impacts to resources shall be selected. Impacts to paleontological resources that cannot be avoided through siting and design alternatives shall be mitigated. When impacts to paleontological resources cannot be avoided, mitigation shall be required that includes procedures for monitoring grading and handling fossil discoveries that may occur during development.*

The project site is not within a sensitive area for archaeological resources and located in an area of undetermined risk with respect to paleontological resources. The nearest designated archaeologically sensitive area is approximately 1.1 miles northwest of the project site (Ventura County Resource Management Agency Geographic Information System (VCRMA GIS), 2021). The underlying geology is comprised of Quaternary alluvial sands (Pleistocene-Holocene age). Because Quaternary alluvium is of a relatively recent age, typically less than 10,000 years, paleontological importance is considered low to none.

As stated above under Section C.6, the project site is developed with a single-family dwelling and the remainder of the parcel is surfaced with concrete. The proposed project is limited to a second-floor addition. No new ground disturbance will occur. As a result, there is no potential to disturb cultural or paleontological resources.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan* Conservation and Open Space Policies COS-4.2b and COS-4.4; Coastal Act Section 30244; and Coastal Area Plan Policies 4.1.1.1, 4.1.1.2, 4.1.2.1, and 4.1.2.2.

## Hazards and Safety

- 9. General Plan Policy HAZ-1.1 (Fire Prevention Design and Practices):** *The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.*

**General Plan Policy CTM 2.28 (Emergency Access):** *The County shall ensure that all new discretionary projects are fully evaluated for potential impacts to emergency access. Mitigation of these impacts shall be handled on a project-by-project basis to guarantee continued emergency service operations and service levels.*

**General Plan Policy PFS-11.4 (Emergency Vehicle Access):** *The County shall require all discretionary development to provide, and existing development to maintain, adequate access for emergency vehicles, including two points of access for subdivisions and multifamily developments.*

**General Plan Policy PFS-12.3 (Adequate Water Supply, Access, and Response Times for Firefighting Purposes):** *The County shall prohibit discretionary development in areas that lack and cannot provide adequate water supplies, access, and response times for firefighting purposes.*

**General Plan Policy PFS-12.4 (Consistent Fire Protection Standards for New Development):** *The County, in coordination with local water agencies and the Fire Protection District, shall require new discretionary development to comply with applicable standards for fire flows and fire protection.*

The Ventura County Fire Protection District reviewed this project and determined that there were no significant concerns with respect to access or fire flow. Emergency access to the project site is provided by Ocean Drive, a public road. Ocean Drive is improved to a sufficient width to provide adequate emergency access. The existing single-family dwelling is provided with water service by CIBCSD. CIBCSD's facilities are adequate to provide the needed fire flow.

The nearest full-time fire station is City of Oxnard Fire Station 6 (2601 Peninsula Drive), located 1.5 miles northeast of the project site. Given the station's proximity to the project site, there will be adequate response time to provide fire protection services. The VCFPD has conditioned the project to ensure adequate water supply, access and response time will be available for fire protection (Exhibit 4, Condition 25).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Hazard and Safety Policy HAZ-1.1, Circulation, transportation and Mobility Policy CTM-2.28, and Public Facilities, Services and Infrastructure Policies PFS-11.4, PFS-12.3, and PFS-12.4.*

**10. General Plan Policy HAZ-4.1 (Projects in Earthquake Fault Zones):** *The County shall prohibit new structures for human occupancy and subdivisions that contemplate the eventual construction of structures for human occupancy in Earthquake Fault Zones unless a geologic investigation is performed to delineate any hazard of surface fault rupture and appropriate and sufficient safeguards, based on this investigation, are incorporated into the project design.*

**General Plan Policy HAZ-4.3 (Structural Design):** *The County shall require that all structures designed for human occupancy incorporate engineering measures to reduce the risk of and mitigate against collapse from ground shaking.*

**Coastal Act Section 30253(a) and (b) (Minimization of Adverse Impacts):** *New development shall do all of the following:*

- (a) *Minimize risks to life and property in areas of high geologic, flood, and fire hazard.*
- (b) *Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.*

**Coastal Area Plan, North Coast Hazards Policy 2:** *New development shall be sited and designed to minimize risks to life and property in areas of high geologic, flood, and fire hazards.*

**Coastal Area Plan, North Coast Hazards Policy 3:** *All new development will be evaluated for its impacts to, and from, geologic hazards (including seismic safety, landslides, expansive soils, subsidence, etc.), flood hazards, and fire hazards. Feasible mitigation measures shall be required where necessary.*

The nearest fault is approximately 6 miles north of the project site. The project site is not located within 50 feet of the Alquist-Priolo Special Fault Hazard Area. The site will be subject to strong ground shaking caused by regionally active faults. Additionally, the project site is located in an area subject to liquefaction (VCRMA GIS, 2021).

The addition to the existing single-family dwelling would neither create nor contribute significantly to geologic instability or destruction of the site or surrounding areas. The proposed project has been designed in compliance with

the 2019 California Building Code, which ensures stability and structural integrity. Compliance with the Building Code standards will also ensure that risks from seismic events or liquefaction are minimized.

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Hazards and Safety Policies HAZ-4.1 and HAZ-4.3, Coastal Act Sections 30253(a) and (b), and Coastal Area Plan, North Coast Hazards Policies 2 and 3.*

**11. General Plan Policy HAZ-9.2 (Noise Compatibility Standards):** *The County shall review discretionary development for noise compatibility with surrounding uses. The County shall determine noise based on the following standards:*

1. *New noise sensitive uses proposed to be located near highways, truck routes, heavy industrial activities and other relatively continuous noise sources shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed CNEL 60 or Leq1H of 65 dB(A) during any hour.*
2. *New noise sensitive uses proposed to be located near railroads shall incorporate noise control measures so that indoor noise levels in habitable rooms do not exceed Community Noise Equivalent Level (CNEL) 45 and outdoor noise levels do not exceed L10 of 60 dB(A)*
3. *New noise sensitive uses proposed to be located near airports:*
  - a. *Shall be prohibited if they are in a Community Noise Equivalent Level (CNEL) 65 dB or greater, noise contour; or*
  - b. *Shall be permitted in the Community Noise Equivalent Level (CNEL) 60 dB to CNEL 65 dB noise contour area only if means will be taken to ensure interior noise levels of CNEL 45 dB or less.*
4. *New noise generators, proposed to be located near any noise sensitive use, shall incorporate noise control measures so that ongoing outdoor noise levels received by the noise sensitive receptor, measured at the exterior wall of the building, does not exceed any of the following standards:*
  - a. *Leq1H of 55dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 6:00 a.m. to 7:00 p.m.;*
  - b. *Leq1H of 50dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 7:00 p.m. to 10:00 p.m.; and*

- c. *Leq1H of 45dB(A) or ambient noise level plus 3dB(A), whichever is greater, during any hour from 10:00 p.m. to 6:00 a.m.*
- 5. *Construction noise and vibration shall be evaluated and, if necessary, mitigated in accordance with the Construction Noise Threshold Criteria and Control Plan (Advanced Engineering Acoustics, November 2005).*

The proposed single-family dwelling qualifies as a noise-sensitive land use. The proposed project is outside the CNEL 65dB(A) noise contour (RMA GIS Viewer, Noise Contour Maps, 2018). The residential use of the property is not considered a noise generator that will adversely affect any nearby noise sensitive uses (e.g., surrounding residences). While the proposed single-family dwelling is not considered a noise generating use, construction noise will be generated during the development phase of the proposed project

The existing single-family dwelling qualifies as a noise-sensitive land use. Noise sensitive uses include, but are not limited to, dwellings, schools, hospitals, nursing homes, churches, and libraries. The project site is located approximately 2.4 miles south of the designated noise contour for Harbor Boulevard, outside of the 60 dB(A) CNEL noise contour (VCRMA GIS, 2021). In addition, the proposed project site is not located near any active railroad tracks or the Oxnard airport (both of which are approximately 1.7 miles to the northeast and 2.3 miles to the north, respectively). Therefore, the proposed project will not be subject to unacceptable levels of noise from these noise generators.

A single-family dwelling is not considered a noise-generating use. Nonetheless, construction noise will be generated during the development phase of the project that has the potential to adversely affect surrounding residential uses. Pursuant to the requirements of the Ventura County Construction Noise Threshold Criteria and Control Plan, the proposed project would be subject to a condition of approval to limit noise-generating activities to the days and times when such noise is least likely to adversely affect surrounding residential uses (Exhibit 4, Condition 17).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Hazards and Safety Policies HAZ-9.2, HAZ-9.4, and HAZ-9.5.*

- 12. General Plan Policy HAZ-10.11 (Air Quality Assessment Guidelines):** *In evaluating air quality impacts, the County shall consider total emissions from both stationary and mobile sources, as required by the California Environmental Quality Act. The County shall evaluate discretionary development for air quality impacts using the Air Quality Assessment Guidelines as adopted by the Ventura County Air Pollution Control District (APCD), except that emissions from APCD-permitted sources shall also be included in the analysis. The County shall revise the Initial Study Assessment Guides to implement this policy.*

**General Plan Policy HAZ-10.12 (Conditions for Air Quality Impacts):** *The County shall require that discretionary development that would have a significant adverse air quality impact shall only be approved if it is conditioned with all feasible mitigation measures to avoid, minimize or compensate (offset) for the air quality impact. The use of innovative methods and technologies to minimize air pollution impacts shall be encourage in project design.*

**General Plan Policy HAZ-10.13 (Construction Air Pollutant Best Practices):** *Discretionary development projects that will generate construction-related air emissions shall be required by the County to incorporate best management practices (BMPs) to reduce emissions. These BMPs shall include the measures recommended by VCAPCD in its Air Quality Assessment Guidelines or otherwise to the extent applicable to the project.*

**General Plan Policy HAZ-10.14 (Fugitive Dust Best Management Practices):** *The County shall ensure that discretionary development which will generate fugitive dust emissions during construction activities will, to the extent feasible, incorporate appropriate BMPs to reduce emissions to be less than applicable thresholds.*

**Coastal Act Section 30253(c) (Minimization of Adverse Impacts):** *New development shall do all of the following:*

- (c) *Be consistent with requirements imposed by an air pollution control district or the State Air Resources Board as to each particular development.*

The proposed project has been reviewed by the Ventura County Air Pollution Control District (APCD). The APCD has determined that the project would have less than significant impacts to air quality. Additionally, the project will be subject to standard conditions of approval relating to construction best practices and fugitive dust control (Exhibit 4, Conditions 21 through 23).

Based on the above discussion, the proposed project is consistent with *Ventura County General Plan Hazards and Safety Policies HAZ-10.11 through HAZ-10.14 and Coastal Act Section 30253(c).*

## **Coastal Access**

- 13. Coastal Act Section 30212(a) (New Development Projects):** *Public access from the nearest public roadway to the shoreline and along the coast shall be provided in new development projects except where: (1) it is inconsistent with public safety, military security needs, or the protection of fragile coastal resources, (2) adequate access exists nearby, or, (3) agriculture would be adversely affected. Dedicated accessway shall not be required to be opened to public use until a public agency or private association agrees to accept responsibility for maintenance and liability of the accessway.*

**Coastal Area Plan, North Coast Access Policy 1:** *For all new development between the first public road and the ocean, granting of an easement to allow vertical access to the mean high tide line shall be mandatory unless:*

- a. *Adequate public access is already available within a reasonable distance of the site measured along the shoreline, or*
- b. *Access at the site would result in unmitigable adverse impacts on areas designated as sensitive habitats or tidepools by the land use plan, or*
- c. *Findings are made, consistent with Section 30212 of the Act, that access is inconsistent with public safety, military security needs, or that agriculture would be adversely affected, or*
- d. *The parcel is too narrow to allow for an adequate vertical access corridor without adversely affecting the privacy of the property owner, or*

**Coastal Area Plan, North Coast Access Policy 2:** *For all new development between the first public road and the ocean, granting of lateral easements to allow for public access along the shoreline shall be mandatory unless subsection (a) below is found. In coastal areas, where the bluffs exceed five feet in height, all beach seaward of the base of the bluff shall be dedicated. In coastal areas where the bluffs are less than five feet, the area to be dedicated shall be determined by the County. At a minimum, the dedicated easement shall be adequate to allow for lateral access during periods of high tide. In no case shall the dedicated easement be required to be closer than 10 feet to a residential structure. In addition, all fences, no trespassing signs, and other obstructions that may limit public lateral access shall be removed as a condition of development approval.*

The proposed project will not obstruct or adversely impact access to a public recreation source (e.g., the beach). The nearest vertical beach access is approximately 180 feet south. The proposed residential addition would not extend beyond the boundaries of the property in a way that impedes horizontal public access routes. There is limited parking available along Ocean Drive, which would not be affected by the project. Therefore, the proposed development will not interfere with the public's right of access to the sea and will not require development of new dedicated accessways to the public beach.

Based on the above discussion, the proposed project is consistent with Coastal Act Section 30212(a) and Coastal Area Plan North Coast Access Policies 1 and 2.

**D. ZONING ORDINANCE COMPLIANCE**

The proposed project is subject to the requirements of the Ventura County CZO.

Pursuant to the Ventura County Ventura County CZO (Section 8174-4), the proposed use is allowed in the RBH (Residential Beach Harbor) zone district with the granting of a Coastal PD Permit. Upon the granting of the Coastal PD Permit, the proposed project will comply with this requirement.

The proposed project includes the construction of a building addition that is subject to the development standards of the Ventura County CZO (Section 8175-2). Table 1 lists the applicable development standards and a description of whether the proposed project complies with the development standards.

**Table 1 – Development Standards Consistency Analysis**

Type of Requirement	Zoning Ordinance Requirement	Complies?
Minimum Lot Area (Gross)	1,750 sq. ft.	Yes. (2,625 sq. ft.)
Maximum Percentage of Building Coverage	65 percent	Yes. (64 percent)
Front Setback – Ground Floor	20 feet	No. (8 feet, 6 inches). The setback is legal non-conforming. There is no expansion to the ground floor of the structure.
Front Setback – Upper Floor	16 feet	Yes. (16 feet)
Side Setback	3 feet	Yes. (3 feet)
Rear Setback	6 feet	Yes. (6 feet)
Maximum Building Height	28 feet	Yes. (23 feet)
Minimum Parking	2 covered spaces	Yes. (2 covered spaces)

**E. PD PERMIT FINDINGS AND SUPPORTING EVIDENCE**

The Planning Director must make certain findings in order to determine that the proposed project is consistent with the permit approval standards of the Ventura County CZO (Section 8181-3.5 et seq.). The proposed findings and supporting evidence are as follows:

- 1. The proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program [Section 8181-3.5.a].**

Based on the information and analysis presented in Sections C and D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's Certified Local Coastal Program can be made.

- 2. The proposed development is compatible with the character of surrounding development [Section 8181-3.5.b].**

The proposed project consists of a second-floor addition to an existing single-family dwelling. Based on the information and analysis presented in Sections C

and D of this staff report, the proposed project is consistent with the applicable provisions of the General Plan, Coastal Area Plan, and Ventura County CZO.

The project is located in Hollywood Beach in an area with a General Plan land use designation of Residential Beach Harbor and a zoning designation of Residential Beach Harbor (RBH). Hollywood beach is characterized by one-, two-, and three-story single-family dwellings with a variety of sizes, ages, and architectural styles on small lots (generally 35 feet by 75 feet). Properties immediately to the north, south, and east are zoned RBH; to the west, the shoreline is zoned COS-10 ac. The purpose and intent of the RBH zone is to provide for development and preservation of unique beach-oriented residential communities with small lot subdivision patterns. The project site is adequately served by existing public facilities.

As discussed in Section C, above, the proposed project does not include a change of use that has the potential to create any land use conflicts with surrounding residential development. Additionally, the project will not generate new traffic or introduce physical development that is incompatible with the character of the surrounding residential development. Furthermore, with the condition to limit days and times of noise-generating construction activities will ensure that the proposed project does not generate noise that is incompatible with surrounding residential and beach uses (Exhibit 4, Condition 17). Therefore, the residential addition will be consistent with the character of the surrounding residential development.

Based on the discussion above, this finding can be made.

- 3. The proposed development, if a conditionally permitted use, is compatible with planned land uses in the general area where the development is to be located [Section 8181-3.5.c].**

The proposed development involves an addition to an existing single-family dwelling. The proposed use is not conditionally permitted; therefore, the requirement of this finding does not apply to the proposed project.

Based on the discussion above, this finding can be made.

- 4. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8181-3.5.d].**

As discussed in Section E.2 of this staff report, above, the proposed development will be compatible with surrounding residential uses on properties located within the vicinity of the project site. Water and wastewater disposal services for the project will be provided by CIBCS. As discussed above in Section C, Items 2, 3, and 11, the project has been analyzed for impacts to transportation, groundwater, and noise. No significant impacts were identified. The proposed project will not include any new physical development that may interfere with beach uses or

surrounding residential uses. The project will not result in a change in traffic generation or water or sewage disposal service connections. Existing public services are adequate to serve the proposed development along with existing residential development on neighboring properties. Additionally, as discussed in Section D of this staff report, above, the proposed project will comply with maximum building height, maximum building coverage, and minimum setback standards for the Residential Beach Harbor zone. Therefore, the proposed project will not be obnoxious, harmful, or impair the utility of neighboring properties or uses.

Based on the discussion above, this finding can be made.

**5. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8181-3.5.e].**

As discussed in Section C of this staff report, adequate public resources and infrastructure exist to serve the residential addition. CIBCSD will continue to provide water and sewer services to the subject property. Adequate fire flow, access, and response times exist for fire protection purposes. VCFPD reviewed the project and conditioned the project to comply with the applicable standards of the Ventura County Fire Code and VCFPD Ordinances (Exhibit 4, Condition 24). Furthermore, the proposed project will not generate new traffic. Ocean Drive and the surrounding public road network are adequate to continue serving the residential addition. Therefore, the proposed project will not be detrimental to the public interest, health, safety, convenience, or welfare.

Based on the discussion above, this finding can be made.

**F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS**

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), CZO (Section 8181-6.2 et seq.). On October 20, 2021, the Planning Division mailed notice to owners of property within 300 feet and residents within 100 feet of the property on which the project site is located. On October 25, 2021, the Planning Division placed a legal ad in the *Ventura County Star*. As of the date of this document, no comments have been received.

The project site is located within the City of Oxnard's Sphere of Influence. Therefore, on October 19, 2021 the Planning Division notified the City of Oxnard of the proposed project and requested the City of Oxnard to submit any comments that the City might have on the proposed project. No comments have been received as of the date of publication of this report.

## G. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process;
2. **FIND** that this project is categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines.
3. **MAKE** the required findings to grant a Coastal PD Permit pursuant to Section 8181-3.5 of the Ventura County CZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
4. **GRANT** Coastal PD Permit PL20-0138, subject to the conditions of approval (Exhibit 4).
5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10<sup>th</sup> day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact Michael Conger at (805) 654-5038 or Michael.Conger@ventura.org.

Prepared by:

  
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Residential Permits Section  
Ventura County Planning Division

Reviewed by:

  
Jennifer Trunk, Manager  
Residential Permits Section  
Ventura County Planning Division

## EXHIBITS

- |           |                        |
|-----------|------------------------|
| Exhibit 2 | Maps                   |
| Exhibit 3 | Plans                  |
| Exhibit 4 | Conditions of Approval |



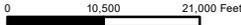
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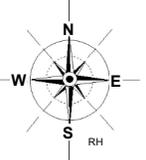
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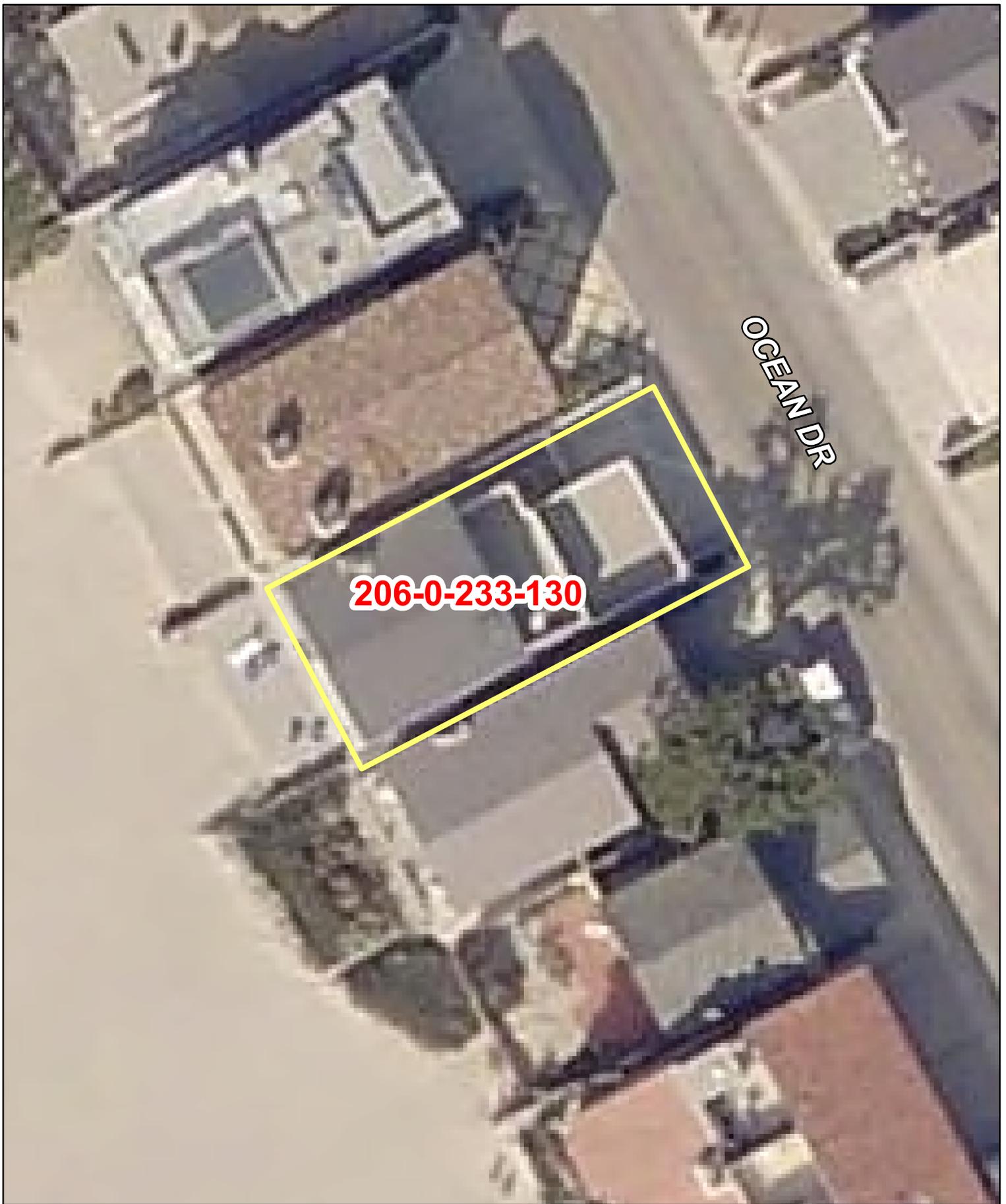


County of Ventura  
 Planning Director Hearing  
 Case No. PL20-0138  
 Exhibit 2 - Maps



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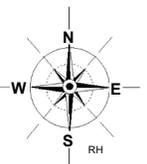
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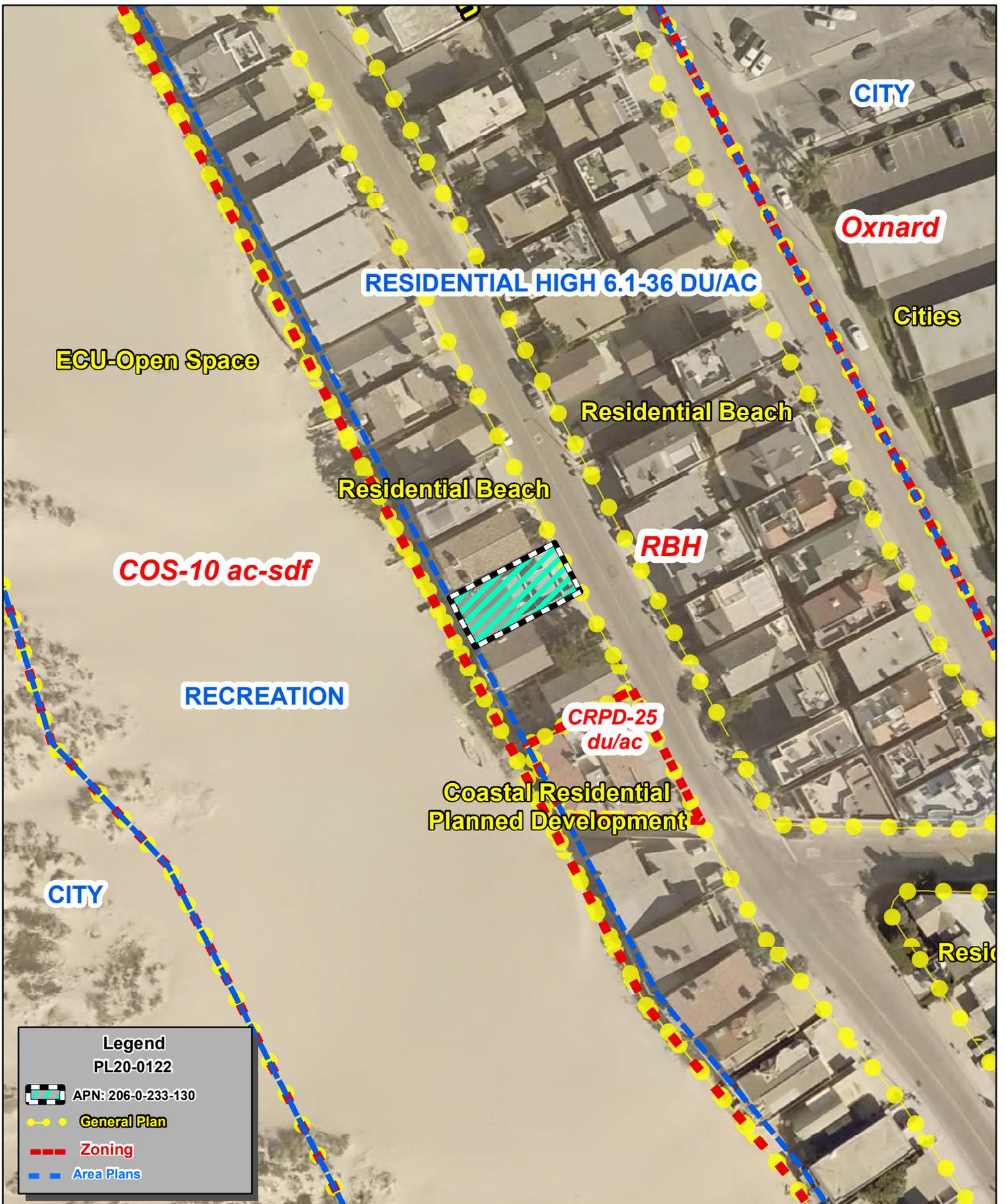


County of Ventura  
Planning Director Hearing  
PL20-0138  
**Aerial Photography**



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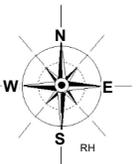
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County of Ventura  
 Planning Director Hearing  
 PL20-0138  
 General Plan & Zoning Map



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**GENERAL NOTES**

- These plans are the property of JOSE EDUARDO GONZALEZ. Use or copy is permitted by contract only. Any revisions to these drawings or use of these drawings or specifications, regardless of scope, without permission of the Designer is prohibited and shall thereby absolve the Designer from any liability claims, suits or litigation by any interested parties in the project.
- All work shall conform to 2013 California Building Code and all other applicable governmental requirements, orders, ordinances, amendments and standards, as well as AIA DOC A201-1997, "General Conditions of the Contract for Construction".
- The contractor shall supervise and direct the work using the contractors best skill and attention. The contractor shall be solely responsible for and have control over construction means, techniques, sequences, and procedures and for coordinating all portions of the work under the contract unless contract documents give other specific instructions concerning these matters.
- The Construction Documents are provided to illustrate the design desired and imply the finest quality workmanship throughout. Any design or detail which appears to be inconsistent with the above should immediately be brought to the attention of the Designer by the Contractor.
- Should the specification fail to particularly describe the material of goods to be used in any place, then it shall be the duty of the contractor to make inquiry of the Designer for what is best suited. The material that would be normally used in this place to produce first quality finished work shall be considered a part of the contract.
- The Contractor shall consult with the Owner regarding scheduling of work. The Contractor shall submit a construction schedule to the Owner for approval before the start of construction activities.
- Any excavation or removal of structural elements shall be temporarily shored. Temporary shoring shall be able to restrain the required load allowing for a substantial margin of safety. Permanent construction shall be restrained per structural drawings.
- The Contractor shall take all precautionary measures to protect existing pipelines and utilities that are to remain in service. The Contractor shall verify that these pipelines and utilities to be removed have been disconnected, shut down or abandoned prior to attempting removal or demolition in a manner to avoid any disruption to existing facilities or the inhabited area of the residence.
- The contractor shall be responsible to the owner for acts and omissions of contractor's employees, subcontractors and their agents and employees, and other persons performing portions of the work under contract with the contractor.
- The Contractor shall "broom" clean and secure the area of construction after each day of work. General contractor to provide dumpster for clean-up and is responsible for removal of trash from site.
- Structural, Mechanical, Electrical, Plumbing, and Landscape drawings are supplemental to the Architectural drawings. It will be the responsibility of the contractor to check with the Architectural drawings before installation of above mentioned work. Should there be a discrepancy between the Architectural drawings and the consulting engineers drawings, it shall be brought to the attention of the Designer for clarification prior to installation of said work. Any work installed within conflict with the Architectural drawings shall be corrected by the contractor at his expense and at no additional cost to the owner or the Designer.
- All work shall be performed in a manner that minimizes the amount of noise, dust, traffic and/or other forms of disturbances so that the Owner and neighbors are subjected to as little disruption as reasonably possible.
- Routes of ingress and egress for materials and workmen, and limits of the project area, will be designated by the Contractor and approved by the Owner.
- Shut down and/or continued operation of portions of the plumbing, mechanical, and electrical systems shall be coordinated with the Owner.

- Permits, Tests, and Inspections: The Owner shall pay for all plan checking and building permit fees. The General Contractor and each Subcontractor shall secure and pay for permits required for their work and for all tests and inspections which may be required of their work. The Contractor shall arrange for all testing and inspection required by applicable building codes, ordinances, and directives of the building official. The Owner shall pay for all costs of such testing if the tests indicate non-conformance. The Contractor shall pay costs when tests indicate non-conformance.
  - Separate permits are required for plumbing, mechanical, and electrical work as applicable.
  - Separate permits are required for retaining walls and fences.
  - A separate permit is required for demolition.
- All dimensions are to centerline or face of structure unless otherwise noted.

- Any Work or materials shown on the drawings and not mentioned in the notes, or vice versa, shall be provided and installed by the Contractor the same as if specifically mentioned or shown or both. In the event that work or materials are shown on one drawing and not shown on another, it shall be the same as shown on either or both drawings.

- The Contractor shall verify all construction documents, site dimensions, and other conditions, and shall notify the Designer of any discrepancies or inconsistencies prior to starting work.

- Applicable trades shall use a common datum to be designated by the General Contractor for all critical measurements. Construction Documents are diagrammatic. Do not scale drawings. **Field Verify all dimensions.**

- Specific notes and details take precedence over more general notes and details. Consult the Designer regarding discrepancies.

- Contractor to coordinate the exact dimensions, sizes and positions of openings in slabs and walls.

- Expect where shown in dimensional detail the location of plumbing, mechanical, equipment, ducts, piping and fittings are only approximate. The exact locations shall be determined by the contractor subject to the approvals by the architect.

- The locations of underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative. The Contractor shall determine the exact location of all existing utilities before commencing work, and shall agree to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all

- The Contractor shall verify the locations and clearances of all inserts and embedded items with all applicable drawings prior to pouring the concrete.

- Contractor shall verify sizes and locations of all mechanical equipment pads and bases as well as power and water and drain installations with equipment manufacturers before proceeding with the work. Changes to accommodate field conditions or substitutions shall be made without additional cost to owner or Designer.

- All shop drawings for woodwork, cabinets, countertop specialties, metal work, and all mechanical and electrical layouts shall be submitted to the Designer for approval prior to fabrication.

- Material and paint color samples are to be submitted to the Designer prior to installations.

- Unless otherwise specified herein, the Contractor, upon completion of the entire work described in the contract, shall provide the Owner with a written guarantee stating that all work performed as part of the contract is fully guaranteed for a period of one year from the date of the Certificate of Occupancy, and that during said one year period all defective workmanship and/or materials shall be repaired and/or replaced in place including any work of others which has been damaged by such defective workmanship and/or materials and by the repair and/or replacement of such workmanship and/or materials, at no additional cost to the Owner.

- Substitutions, revisions or changes may be allowed only if such items are submitted to the Designer in a timely manner in writing and subsequently approved by the Designer in writing. All substitutions must be at least of equal quality, design, and performance to the items originally specified. The Contractor is liable for replacement, repair, and delays caused by any unauthorized substitution of any item of this project.
- All manufactured materials shall bear the appropriate UL Label and be installed per manufacturers standard details and specifications where otherwise not indicated.

- Contact between dissimilar metals shall be protected by bituminous or similar coating.

- Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboard, plaster etc. abuts a dissimilar finish material and provide sealant as required.

- Contractor shall provide and install all stiffeners, bracing's back-up plasters and supporting brackets required for the installations of all handrails, casework, toilet room accessories and partitions and all wall mounted or suspended mechanical, electrical, plumbing or miscellaneous equipment.

- When a notation appears multiple times to indicate the installation of a particular building element in many locations, the Contractor shall understand the overall intent and question any similar location where the notation may be identified as missing. The Contractor shall be responsible for the comprehensive, complete installation of all specified items in similar situations.

- Wood in contact with concrete shall be pressure treated or redwood.

- At exterior wall openings, flashing, counter flashing and expansion joint materials shall be constructed in such a manner as to be waterproof.

- Where wood framed walls and partitions are covered on the interior with plaster, tile, or similar materials and are subjected to water splash, the framing shall be protected with approved waterproof wall panels.

- Provide access panels at wall and ceiling locations for electrical, Plumbing, and Air Conditioning controls, valves, dampers, shutters, roof vents, or other devices as required by the work and applicable even if access panel is not shown on contract documents. The contractor shall submit shop drawings indicating the exact locations of all access panels. No installation of access panels shall be made until the Designer has approved the location.

- Any and all warranties, guarantees, or other such certifications for equipment, installed systems and other such products installed or used in the construction of the house shall be placed into a binder and given to the owner upon completion of the project.

- Typical R-values are as follows unless noted otherwise.  
Wall R-15  
Roof R-30  
Floor R-19

**GLAZING AND DOORS NOTES**

- GLAZING REQUIREMENTS**
- Glass and glazing shall conform to code and with U.S. Consumer Product Safety Commission requirements. Tempered or laminated glass shall be provided for all glazing in the following locations:
    - Entry doors.
    - Fixed and sliding panels of sliding doors.
    - Adjacent to a door, where the glazing is within a 24" arc of the door in the closed position, and whose bottom edge is less than 5ft. above the floor or walking surface.
    - Meets all of the following conditions:
      - Exposed area of individual pane greater than 9 square feet.
      - Bottom edge less than 18" above the floor.
      - Top edge greater than 36" above the floor.
      - One or more walking surfaces within 36" horizontally of the glazing.

- DOORS**
- All windows and doors shall be installed according to manufacturer instructions.
  - All storefront windows and glazing within doors shall be insulated, clear, Low E glass. All windows and doors will be aluminum frame, unless otherwise noted. All windows and doors shall come with manufacturer's standard U and R factors. Designer to approve glazing sample prior to order and installation.

- Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 916709.01. Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)

- All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have a min. 1/4" dia. steel jamb stud with 1/4" min. projection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (6709.5, 6709.7)

- Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Locks must be operable from inside without key, special knowledge or special effort (latch not required in B, F, and S occupancies. (6709.2)

- Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)

- The use of locking system which consists of deadlocking latch operated by a doorknob and a dead bolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system of which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.

- Wood panel type doors must have panels at least 9/16" thick with shaped portions not less than 1/4" thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1-3/8" and 3" in width. (6709.1 item 2)

**POOL NOTES**

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping @ (Per Ordinance 170,158) (Separate plumbing permit is required)
- Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (3109.4.18)

- Suction outlets shall be designed and installed in accordance with ANSI / ASP-7 (1309.5) Provide the following requirements for the Public Pools:
  - Show the pool enclosure on the plan. 5-inch fence wall and self-closing, self-latching gate are required. (1309.3)
  - The latch to be minimum 4.5 ft above the ground (6109A)l
  - Pools for more than 3 units on site shall be approval by Health Department.
  - Pools shall be in compliance with the requirement for access to public accommodations by physically handicapped persons.
  - Glazing in walls and fences used as the barrier for indoor and outdoor swimming pools and spas when all of the following conditions are present:
    - The bottom edge of the glazing is less than 60 inches (1525 mm) above the pool side of the glazing.
    - The glazing is within 5 feet (1525 mm) of a swimming pool or spa water-s edge.
    - Glazing in walls enclosing stairway landings or within 5 feet (1525 mm) of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches (1525 mm) above a walking surface.

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- Standard 12 inch high berm is required at top of all graded slopes. (7013.3)
- No fill to be placed, until the city grading inspector has inspected and approved the bottom excavation.
- Man-made fill shall be compacted to a minimum relative compaction of 90% max. dry density within 40 feet below finish grade and 93% of max. dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90% of max. dry density) is justified by the soils engineer.
- Temporary erosion control to be installed between October 1 and April 15. Obtain Grading Inspector's and Department of Public Works approval of proposed procedures. 1-200 (Y1) 17007.1)

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- Temporary erosion control to be installed between October 1 and April 15. Obtain Grading Inspector's and Department of Public Works approval of proposed procedures. 1-200 (Y1) 17007.1)

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- No fill to be placed, until the city grading inspector has inspected and approved the bottom excavation.
- Man-made fill shall be compacted to a minimum relative compaction of 90% max. dry density within 40 feet below finish grade and 93% of max. dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90% of max. dry density)

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Plot date: 6.7.2021

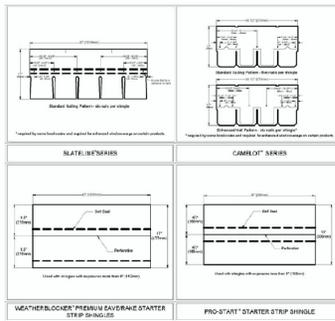


FIGURE 1—GAF SHINGLES (Continued)

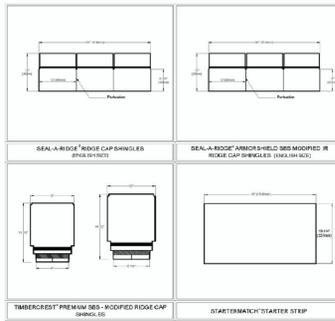


FIGURE 2—STARTER AND RIDGE SHINGLES

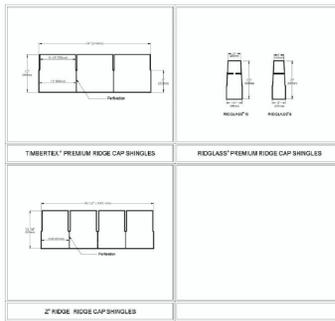


FIGURE 3—RIDGE AND STARTER SHINGLES

TABLE 1—GAF SHINGLES—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS (Continued)

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	CLASS
Woodcraft®	Laminated	Mk. Vernon, IN	17 1/4 x 40	6 7/8	ASTM D3951, Class F
Sensar®	Laminated	Fontana, CA	17 1/4 x 40	6 7/8	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

TABLE 2—ACCESSORY PRODUCTS—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	CLASS
Ridgecap® Premium Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 24 pieces of 10 x 24 pieces	8	ASTM D3951, Class F
Timberline® Premium SBS-Modified Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 24 pieces of 10 x 24 pieces	8	ASTM D3951, Class F
Royal Sovereign®	Hip and Ridge	Fontana, CA	12 x 36 strip, 12 x 12 pieces	See Footnote 1	ASTM D3951, Class F
Seal-A-Ridge® Ridge Cap Shingles	Hip and Ridge	Tuscaloosa, AL	12 x 36 strip, 12 x 12 pieces	6 7/8	ASTM D3951, Class F
Protective Ridge Cap Shingles	Hip and Ridge	Tuscaloosa, AL	12 x 36 strip, 12 x 12 pieces	5	ASTM D3951, Class F
Seal-A-Ridge® ArmorShield® SBS-Modified IR Ridge Cap Shingles	Hip and Ridge	Savannah, GA	12 x 36 strip, 12 x 12 pieces	5	ASTM D3951, Class F
Timberline® Premium Ridge Cap Shingles	Hip and Ridge	Mk. Vernon, IN	12 x 36 strip, 12 x 12 pieces	8	ASTM D3951, Class F
2" Ridge® Ridge Cap Shingles	Hip and Ridge	Ennis, TX	17 1/4 x 39 1/2 strip, 17 1/4 x 9 1/2 pieces	5 7/8	ASTM D3951, Class F
Pro-Star® Eave/Rake Starter Strip Shingles	Starter Strip	Tuscaloosa, AL	13 x 36 strip, 6 7/8 x 36 pieces	N/A	ASTM D3951, Class F
StarterMatch® Starter Strip Shingles	Starter Strip	Fontana, CA	13 1/4 x 40 strip	N/A	ASTM D3951, Class F
WeatherBlocker® Premium Eave/Rake Starter Strip Shingles	Starter Strip	Mk. Vernon, IN	17 x 40 strip, 8 7/8 x 40 pieces	N/A	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

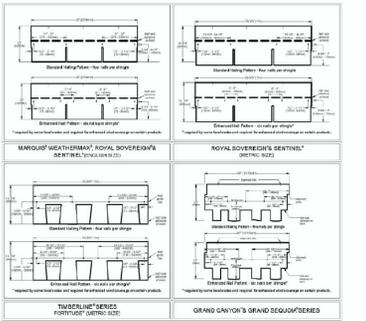


FIGURE 1—GAF SHINGLES

TABLE 1—GAF SHINGLES—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	CLASS
Woodcraft®	Laminated	Mk. Vernon, IN	17 1/4 x 40	6 7/8	ASTM D3951, Class F
Sensar®	Laminated	Fontana, CA	17 1/4 x 40	6 7/8	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

TABLE 2—ACCESSORY PRODUCTS—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	CLASS
Ridgecap® Premium Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 24 pieces of 10 x 24 pieces	8	ASTM D3951, Class F
Timberline® Premium SBS-Modified Ridge Cap Shingles	Hip and Ridge	Fontana, CA	8 x 24 pieces of 10 x 24 pieces	8	ASTM D3951, Class F
Royal Sovereign®	Hip and Ridge	Fontana, CA	12 x 36 strip, 12 x 12 pieces	See Footnote 1	ASTM D3951, Class F
Seal-A-Ridge® Ridge Cap Shingles	Hip and Ridge	Tuscaloosa, AL	12 x 36 strip, 12 x 12 pieces	6 7/8	ASTM D3951, Class F
Protective Ridge Cap Shingles	Hip and Ridge	Tuscaloosa, AL	12 x 36 strip, 12 x 12 pieces	5	ASTM D3951, Class F
Seal-A-Ridge® ArmorShield® SBS-Modified IR Ridge Cap Shingles	Hip and Ridge	Savannah, GA	12 x 36 strip, 12 x 12 pieces	5	ASTM D3951, Class F
Timberline® Premium Ridge Cap Shingles	Hip and Ridge	Mk. Vernon, IN	12 x 36 strip, 12 x 12 pieces	8	ASTM D3951, Class F
2" Ridge® Ridge Cap Shingles	Hip and Ridge	Ennis, TX	17 1/4 x 39 1/2 strip, 17 1/4 x 9 1/2 pieces	5 7/8	ASTM D3951, Class F
Pro-Star® Eave/Rake Starter Strip Shingles	Starter Strip	Tuscaloosa, AL	13 x 36 strip, 6 7/8 x 36 pieces	N/A	ASTM D3951, Class F
StarterMatch® Starter Strip Shingles	Starter Strip	Fontana, CA	13 1/4 x 40 strip	N/A	ASTM D3951, Class F
WeatherBlocker® Premium Eave/Rake Starter Strip Shingles	Starter Strip	Mk. Vernon, IN	17 x 40 strip, 8 7/8 x 40 pieces	N/A	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	LOCATION OF NAIL LINE (inches)	CLASS
Woodcraft®	Laminated	Fontana, CA	17 1/4 x 39 1/2	6 7/8	5	ASTM D3951, Class F
Royal Sovereign®	Three-tab	Dallas, TX; Minneapolis, MN; Mk. Vernon, IN; Tampa, FL; Tuscaloosa, AL	12 x 36	5	6 7/8	ASTM D3951, Class F
Marquis Weatherlok®	Three-tab	Mk. Vernon, IN	12 x 36	5	6 7/8	ASTM D3951, Class F
Sensar®	Three-tab	Dallas, TX; Mk. Vernon, IN; Savannah, GA	12 x 36	5	6 7/8	ASTM D3951, Class F
Stablemate®	Five-tab	Mk. Vernon, IN	17 x 40	7 1/4	9	ASTM D3951, Class F
Camelot® Camelot®	Laminated	Mk. Vernon, IN	17 x 34 1/2	7 1/4	6 7/8	ASTM D3951, Class F
Grand Canyon®	Laminated	Fontana, CA; Mk. Vernon, IN	17 x 40	5	11	ASTM D3951, Class F
Grand Sequoia®	Laminated	Fontana, CA; Mk. Vernon, IN	17 x 40	5	11	ASTM D3951, Class F
Grand Sequoia®	Laminated	Fontana, CA	17 x 40	5	11	ASTM D3951, Class F
Glenswood®	Laminated	Mk. Vernon, IN	17 1/4 x 36	4.5	6	ASTM D3951, Class F
Timberline® Ultra HD® Timberline® UHD®	Laminated	Ennis, TX; Tuscaloosa, AL	17 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

TABLE 1—GAF SHINGLES—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS (Continued)

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	LOCATION OF NAIL LINE (inches)	CLASS
Timberline® Natural Shadow® Timberline® NS®	Laminated	Baltimore, MD; Dallas, TX; Ennis, TX; Fontana, CA; Michigan City, IN; Minneapolis, MN; Moline, IL; Tampa, FL; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F
Timberline® HD®	Laminated	Baltimore, MD; Dallas, TX; Ennis, TX; Fontana, CA; Michigan City, IN; Minneapolis, MN; Moline, IL; Tampa, FL; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F
Timberline® HDZ™	Laminated	Baltimore, MD; Dallas, TX; Ennis, TX; Fontana, CA; Michigan City, IN; Minneapolis, MN; Moline, IL; Tampa, FL; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	5 7/8	ASTM D3951, Class F
Timberline® Cool Sense®	Laminated	Fontana, CA	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F
Timberline® CS®	Laminated	Fontana, CA	13 1/4 x 39 1/2	6 7/8	5 7/8	ASTM D3951, Class F
Timberline® Ultra HD® Timberline® UHD®	Laminated	Baltimore, MD; Dallas, TX; Ennis, TX; Fontana, CA; Michigan City, IN; Minneapolis, MN; Moline, IL; Tampa, FL; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F
Timberline® American Harvest®	Laminated	Fontana, CA; Michigan City, IN; Ennis, TX; Fontana, CA; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F
Timberline® AH®	Laminated	Fontana, CA; Michigan City, IN; Ennis, TX; Fontana, CA; Tuscaloosa, AL	13 1/4 x 39 1/2	6 7/8	5 7/8	ASTM D3951, Class F
Fortitude™	Laminated	Minneapolis, MN	13 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F

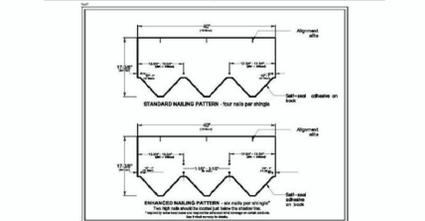


FIGURE 1—GAF SHINGLES (Continued)



Qualifying Residential GAF Cool Roof Shingles



TABLE 1—GAF SHINGLES—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	LOCATION OF NAIL LINE (inches)	CLASS
Woodcraft®	Laminated	Fontana, CA	17 1/4 x 39 1/2	6 7/8	5	ASTM D3951, Class F
Royal Sovereign®	Three-tab	Dallas, TX; Minneapolis, MN; Mk. Vernon, IN; Tampa, FL; Tuscaloosa, AL	12 x 36	5	6 7/8	ASTM D3951, Class F
Marquis Weatherlok®	Three-tab	Mk. Vernon, IN	12 x 36	5	6 7/8	ASTM D3951, Class F
Sensar®	Three-tab	Dallas, TX; Mk. Vernon, IN; Savannah, GA	12 x 36	5	6 7/8	ASTM D3951, Class F
Stablemate®	Five-tab	Mk. Vernon, IN	17 x 40	7 1/4	9	ASTM D3951, Class F
Camelot® Camelot®	Laminated	Mk. Vernon, IN	17 x 34 1/2	7 1/4	6 7/8	ASTM D3951, Class F
Grand Canyon®	Laminated	Fontana, CA; Mk. Vernon, IN	17 x 40	5	11	ASTM D3951, Class F
Grand Sequoia®	Laminated	Fontana, CA; Mk. Vernon, IN	17 x 40	5	11	ASTM D3951, Class F
Grand Sequoia®	Laminated	Fontana, CA	17 x 40	5	11	ASTM D3951, Class F
Glenswood®	Laminated	Mk. Vernon, IN	17 1/4 x 36	4.5	6	ASTM D3951, Class F
Timberline® Ultra HD® Timberline® UHD®	Laminated	Ennis, TX; Tuscaloosa, AL	17 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

TABLE 1—GAF SHINGLES—PRODUCT DESCRIPTIONS AND MANUFACTURING LOCATIONS

SHINGLE	SHINGLE TYPE	PLANT LOCATION	DIMENSIONS (height x width) (inches)	MAXIMUM EXPOSURE TO THE WEATHER (inches)	LOCATION OF NAIL LINE (inches)	CLASS
Woodcraft®	Laminated	Fontana, CA	17 1/4 x 39 1/2	6 7/8	5	ASTM D3951, Class F
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Grand Sequoia®	Laminated	Fontana, CA	17 x 40	5	11	ASTM D3951, Class F
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Timberline® Ultra HD® Timberline® UHD®	Laminated	Ennis, TX; Tuscaloosa, AL	17 1/4 x 39 1/2	6 7/8	6	ASTM D3951, Class F

For Seal-A-Ridge: 24 in. x 36 in. 1 8/100 in. = 0.0489 in. (0.00125 in. tolerance from bottom edge of shingle to top edge of nail location. See Figure 1.)

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3321 OCEAN FLOOR ADDITION

3321 OCEAN DR  
OXNARD, CA 93035

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

CONSTRUCTION DOCUMENTS

JUNE 7TH, 2021

ROOFING MATERIAL

12479

AN-01

CONTRACTOR:  
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Santa Monica CA 90409  
310 401 1414

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PROJECT:  
**3321 OCEAN  
SECOND FLOOR  
ADDITION**

PROJECT ADDRESS:  
**3321 OCEAN DR  
OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE:  
**CONSTRUCTION  
DOCUMENTS**

DATE:  
JUNE 7TH, 2021

TITLE:  
**PROPOSED ROOF/  
SITE PLAN**

JOB NO.: 12479

SHEET NO.:

**A-01**

**PROJECT DESCRIPTION:**

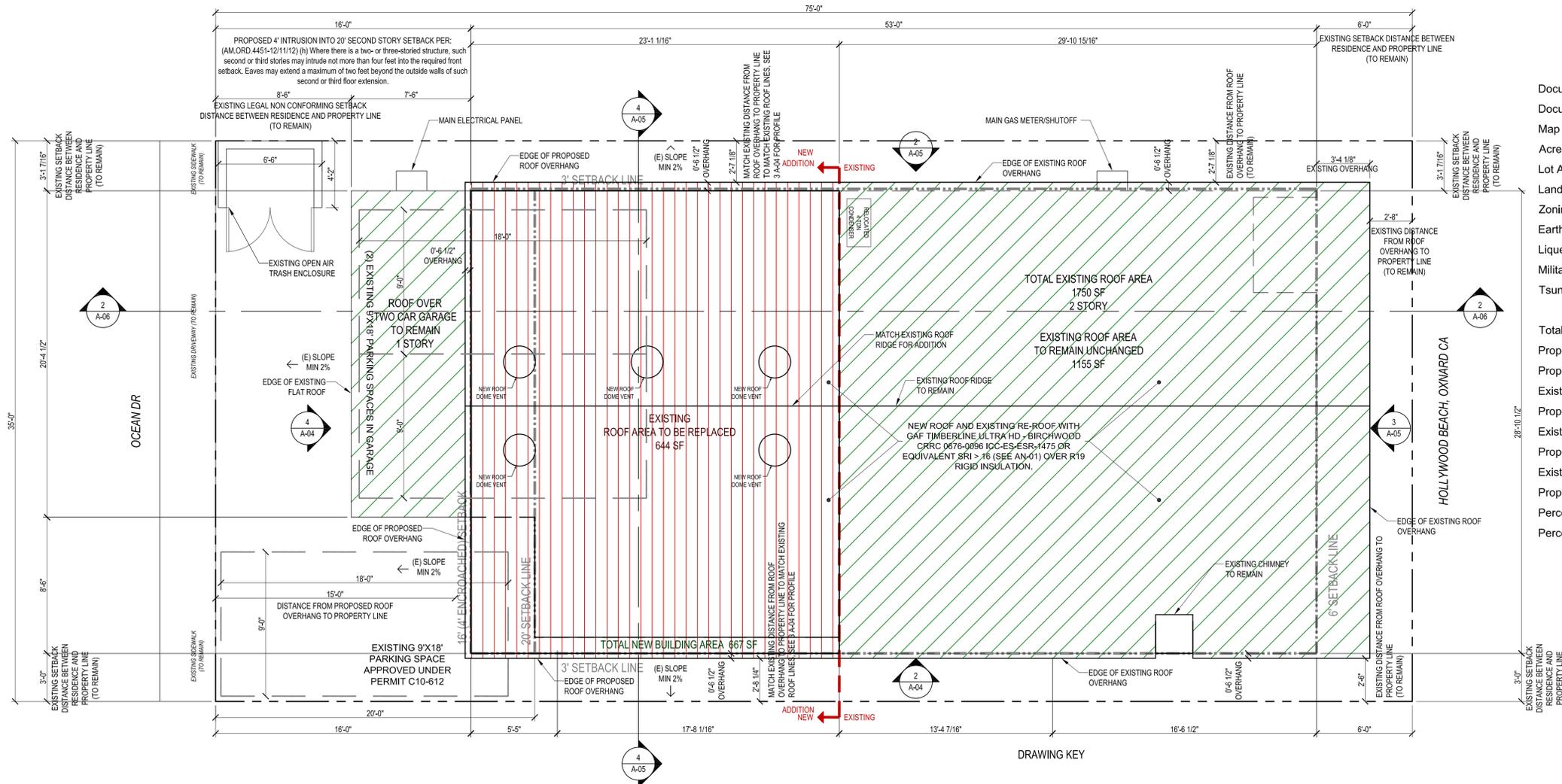
2 BEDROOM AND 2 BATHROOM ADDITION TO SECOND FLOOR BY WAY OF 670 SF ADDITION OVER EXISTING ROOF DECK AND PORTION OF EXISTING 2 CAR GARAGE AND ADDITION 11' OF WALL TO PARTIALLY PARTITION AN AREA TO BE USED AS A DEN.

**PROJECT INFORMATION:**

County Assessor A.P.N. 206-0-233-130  
County Zoning A.P.N. 206023313  
Owners: Timothy McGinity  
Gregory McGinity  
Project Address: 3321 Ocean Drive, Oxnard  
Prepared by: Jose Eduardo Gonzalez  
2907 Buckingham Rd  
Los Angeles CA 90016  
goeduardo@gmail.com  
310 384 8766

Document Date: 20180322  
Document Number: 180033065  
Map Number: 013MR002  
Acreage: 0.06 Acres  
Lot Area: 2625 sf  
Land Use: Residential Beach  
Zoning: RBH  
Earthquake Fault Hazard Zones: No  
Liquefaction: Yes  
Military Operations Areas: No  
Tsunami Inundation: Yes

Total Existing Living Area (sqft): 1,797 sf  
Proposed Addition (sqft): 667 sf  
Proposed Total Living Area (sqft): 2,464 sf  
Existing Building Coverage: 1,555 sf  
Proposed Building Coverage: 1,555 sf (NO CHANGE)  
Existing Bedroom Count: 2 Bedrooms  
Proposed Bedroom Count: 4 Bedrooms  
Existing Parking Spaces: 2 Parking Spaces  
Proposed Parking Spaces: 2 Parking Spaces  
Percentage of Roof to Remain Intact: 64.4%  
Percentage of Proposed New Roof Area: 39.8%



**AREA ANALYSIS & DRAWING NOTES:**

TOTAL EXISTING ROOF AREA	1790 SF
TOTAL EXISTING ROOF AREA TO REMAIN INTACT MINUS OVERHANG	1127 SF / 1750 SF = 64.4%
PROPOSED NEW ROOF AREA MINUS OVERHANG	1009 SF / 1604 SF = 62.9%
	697 SF / 1750 SF = 39.8%
	667 SF / 1604 SF = 41.5%

NOTE: ALL GROUND FLOOR BOUNDARIES/LOT COVERAGE AND GRADING WILL NOT CHANGE AND IS TO REMAIN AS EXISTING.

**ROOF VENT CALCULATION:**

667 SF / 150 = 4.44 SF  
(5) MASTER FLOW® ATTIC EXHAUST VENT  
HIGH-CAPACITY DOME VENT, 1SF NET  
FREE AREA



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 (916) 792-8527

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 Los Angeles CA 90016  
 goeduardo@gmail.com  
 310 384 8766

PROJECT:  
**3321 OCEAN  
 SECOND FLOOR  
 ADDITION**

PROJECT ADDRESS:  
**3321 OCEAN DR  
 OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE:  
**CONSTRUCTION  
 DOCUMENTS**

DATE:  
 JUNE 7TH, 2021

TITLE:  
**EXISTING SECOND  
 FLOOR PLAN AND  
 WINDOW AND DOOR  
 SCHEDULE**

JOB NO.: 12479

SHEET NO.:  
**A-03**

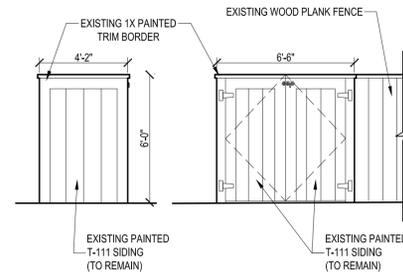
**1 - WINDOW SCHEDULE**

LOCATION	#	WIDTH X HEIGHT	OPERABLE	MATERIAL	NOTE	FACADE
NEW BEDROOM 1 WINDOW	W01	4'-0" X 3'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	SOUTHEAST ELEVATION
NEW BEDROOM 1 WINDOW	W02	2'-6" X 3'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	SOUTHEAST ELEVATION
NEW BATHROOM 1 WINDOW	W03	2'-6" X 2'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	NORTHEAST ELEVATION
NEW BATHROOM 2 WINDOW	W04	2'-6" X 2'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	NORTHEAST ELEVATION
NEW BEDROOM 2 WINDOW	W05	2'-6" X 3'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	NORTHWEST ELEVATION
NEW BEDROOM 2 WINDOW	W06	4'-0" X 3'-0"	SLIDING	WHITE VINYL	DUAL GLAZE, LOW E	NORTHWEST ELEVATION

**2 - DOOR SCHEDULE**

LOCATION	#	WIDTH X HEIGHT	TYPE	INT/EXT	MATERIAL	NOTE
NEW CLOSET DOOR	D01	2'-8" X 6'-8"	DOOR	INTERIOR	COMPOSITE WOOD	HOLLOW CORE, PRIMED AND PAINTED
NEW BATHROOM 1 DOOR	D02	2'-8" X 6'-8"	DOOR	INTERIOR	COMPOSITE WOOD	HOLLOW CORE, PRIMED AND PAINTED
NEW BEDROOM 1 DOOR	D03	2'-8" X 6'-8"	DOOR	INTERIOR	COMPOSITE WOOD	HOLLOW CORE, PRIMED AND PAINTED
NEW BEDROOM 2 DOOR	D04	2'-8" X 6'-8"	DOOR	INTERIOR	COMPOSITE WOOD	HOLLOW CORE, PRIMED AND PAINTED
NEW BATHROOM 2 DOOR	D04	2'-8" X 6'-8"	DOOR	INTERIOR	COMPOSITE WOOD	HOLLOW CORE, PRIMED AND PAINTED

DEAD-LOCKING LATCH KEY-OPERATED LOCKS ON EXTERIOR; LOCKS OPENABLE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT ON INTERIOR



ALL OPENINGS MARKED \* ARE SECURITY OPENINGS AND FOLLOWING NOTES SHALL APPLY:

- A. DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF 6" EACH SIDE OF THE STRIKE.
- B. IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR 3 STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
- C. DOOR STOPS FOR IN-SWINGING DOORS SHALL BE INTEGRATED WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
- D. THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST 16 U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.
- E. HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS.

**SWINGING EXTERIOR DOORS:**

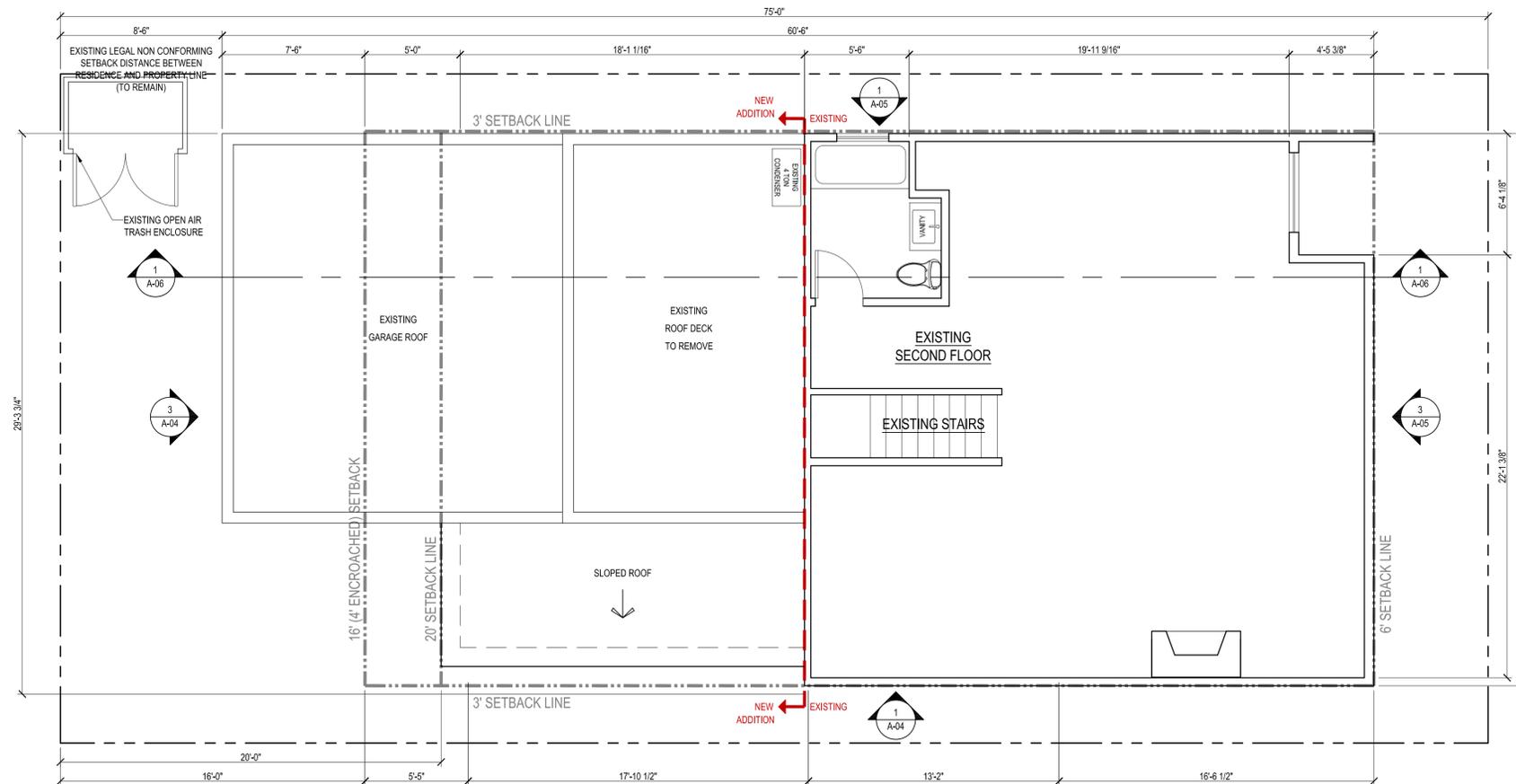
- A. SINGLE OR DOUBLE DOOR SINGLE CYLINDER DEADBOLT LOCK WITH A MINIMUM PROJECTION OF 1" AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST 3/4" INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST 3/8" IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS. A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES.
- B. THE INACTIVE LEAF OF DOUBLE DOORS SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF 3/4" INTO THE HEAD AND TRESHHOLD OR THE DOOR FRAME.
- C. GRAZING IN EXTERIOR DOORS OR WITHIN 40" OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY RESISTANT GLAZING.

SCALE: 1/4" = 1'

**TRASH ENCLOSURE ELEVATIONS 2**

SCALE: 1/4" = 1'

**WINDOW AND DOOR SCHEDULE 2**

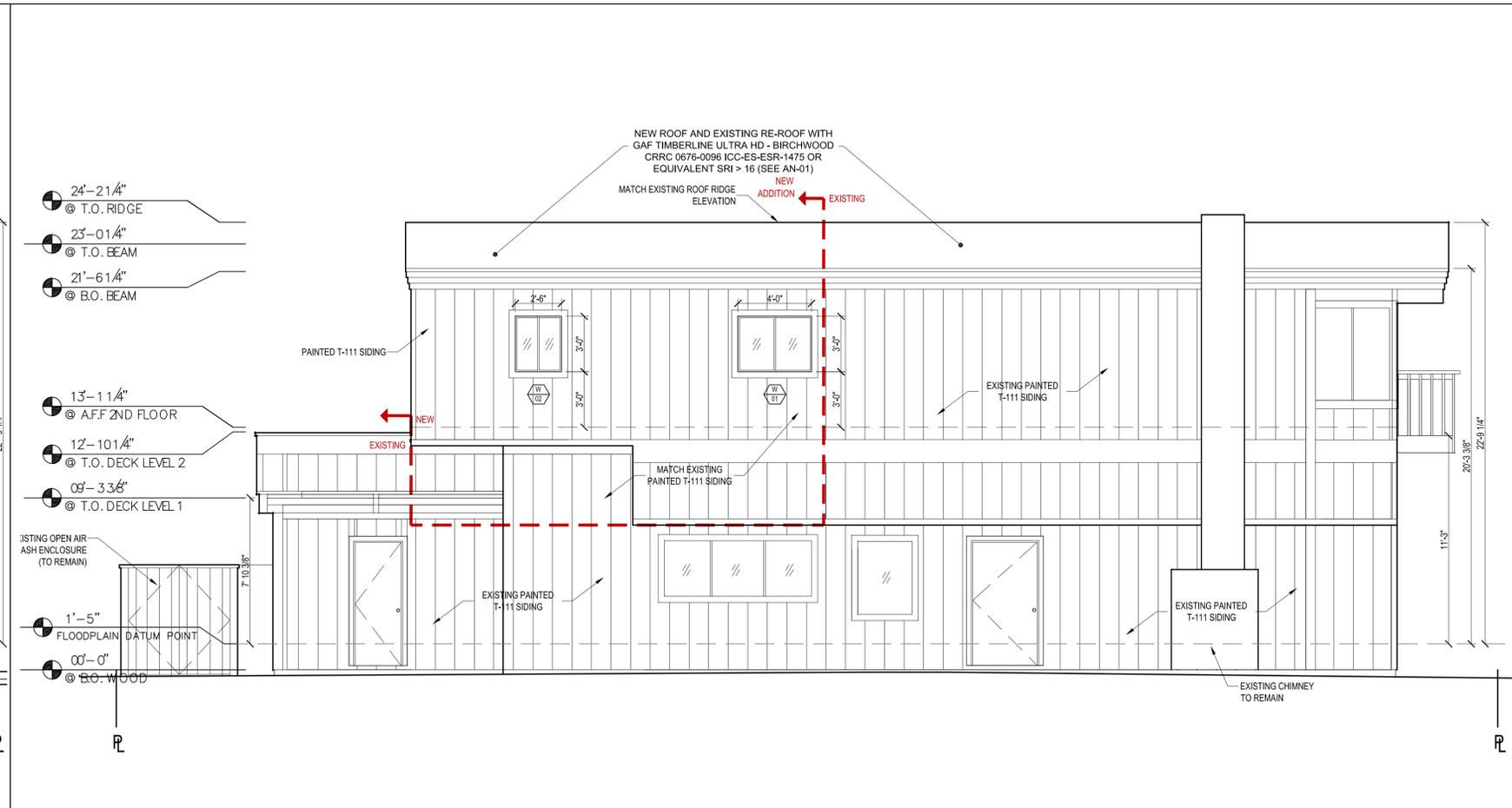
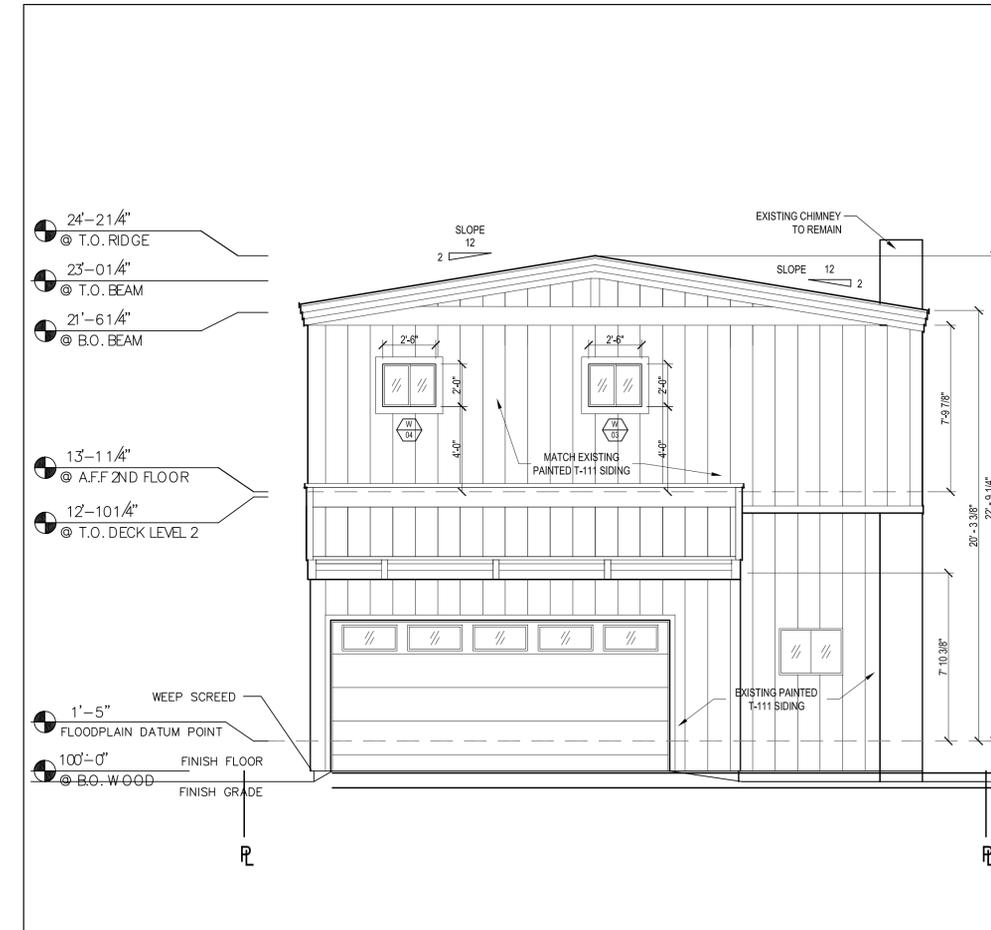


SCALE: 1/4" = 1'

**EXISTING SECOND FLOOR PLAN 1**

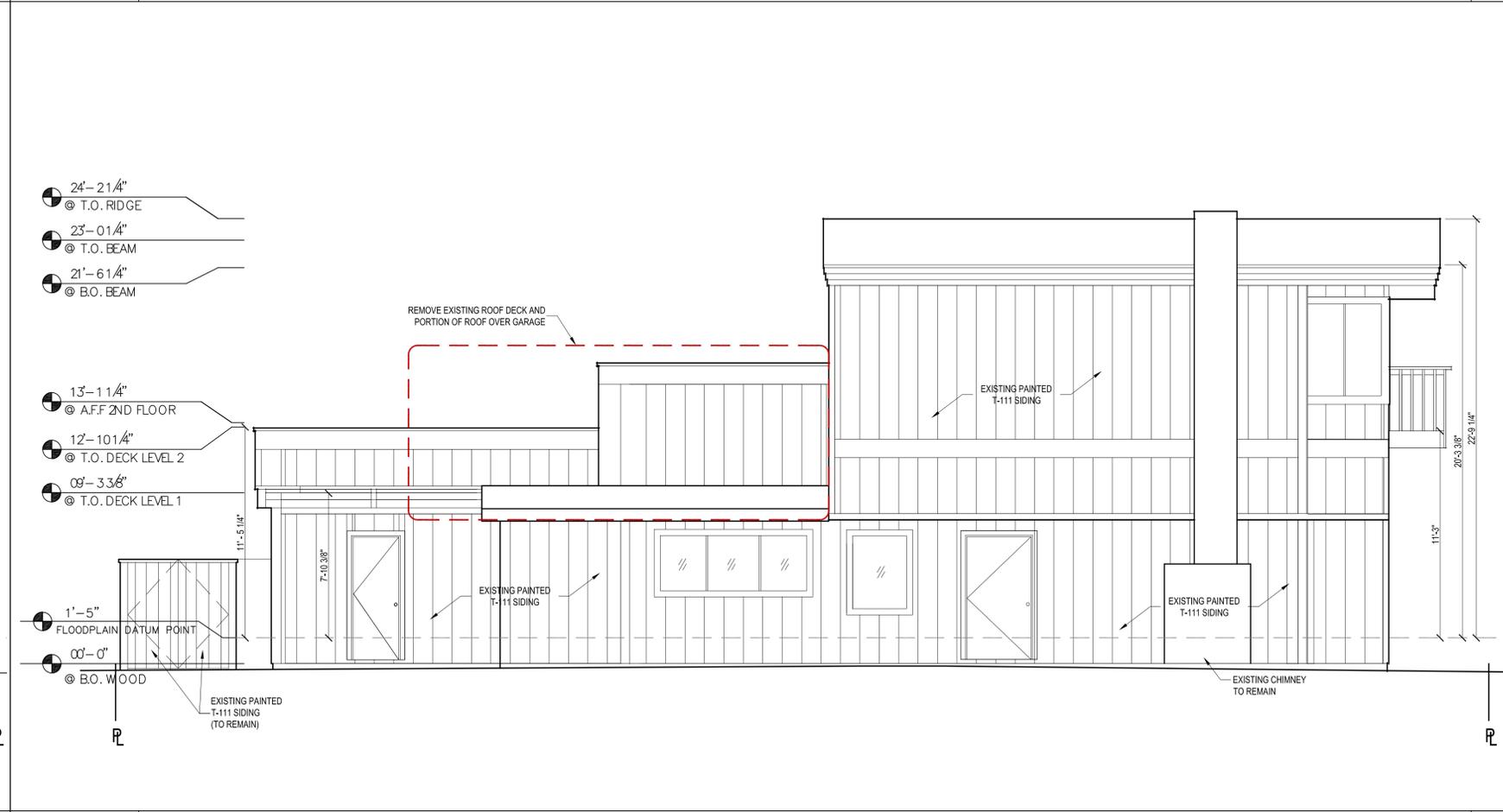
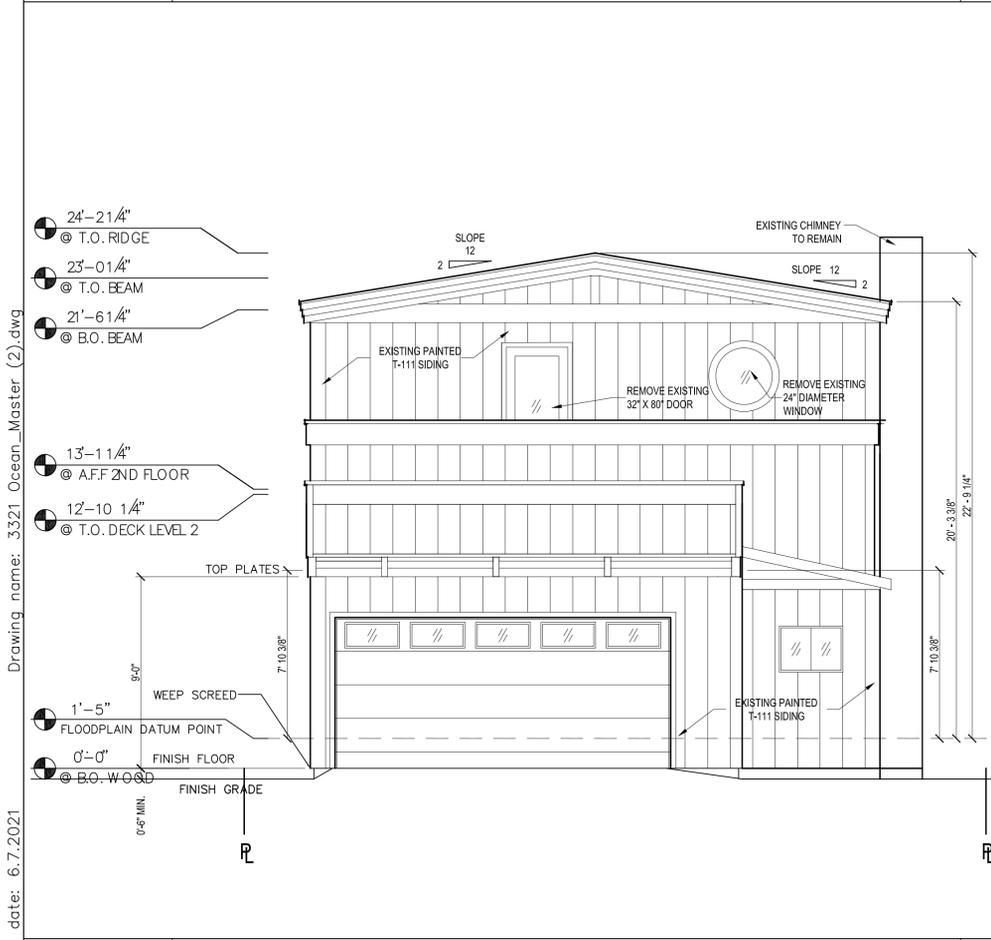
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Plot date: 6.7.2021



SCALE: 1/4" = 1' PROPOSED NORTHEAST (OCEAN DR) ELEVATION 4

SCALE: 1/4" = 1' PROPOSED NORTHWEST ELEVATION 2



SCALE: 1/4" = 1' EXISTING NORTHEAST (OCEAN DR) ELEVATION 3

SCALE: 1/4" = 1' EXISTING NORTHWEST ELEVATION 1

CONTRACTOR:  
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PROJECT:  
**3321 OCEAN  
 SECOND FLOOR  
 ADDITION**

PROJECT ADDRESS:  
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REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE:  
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 DOCUMENTS**

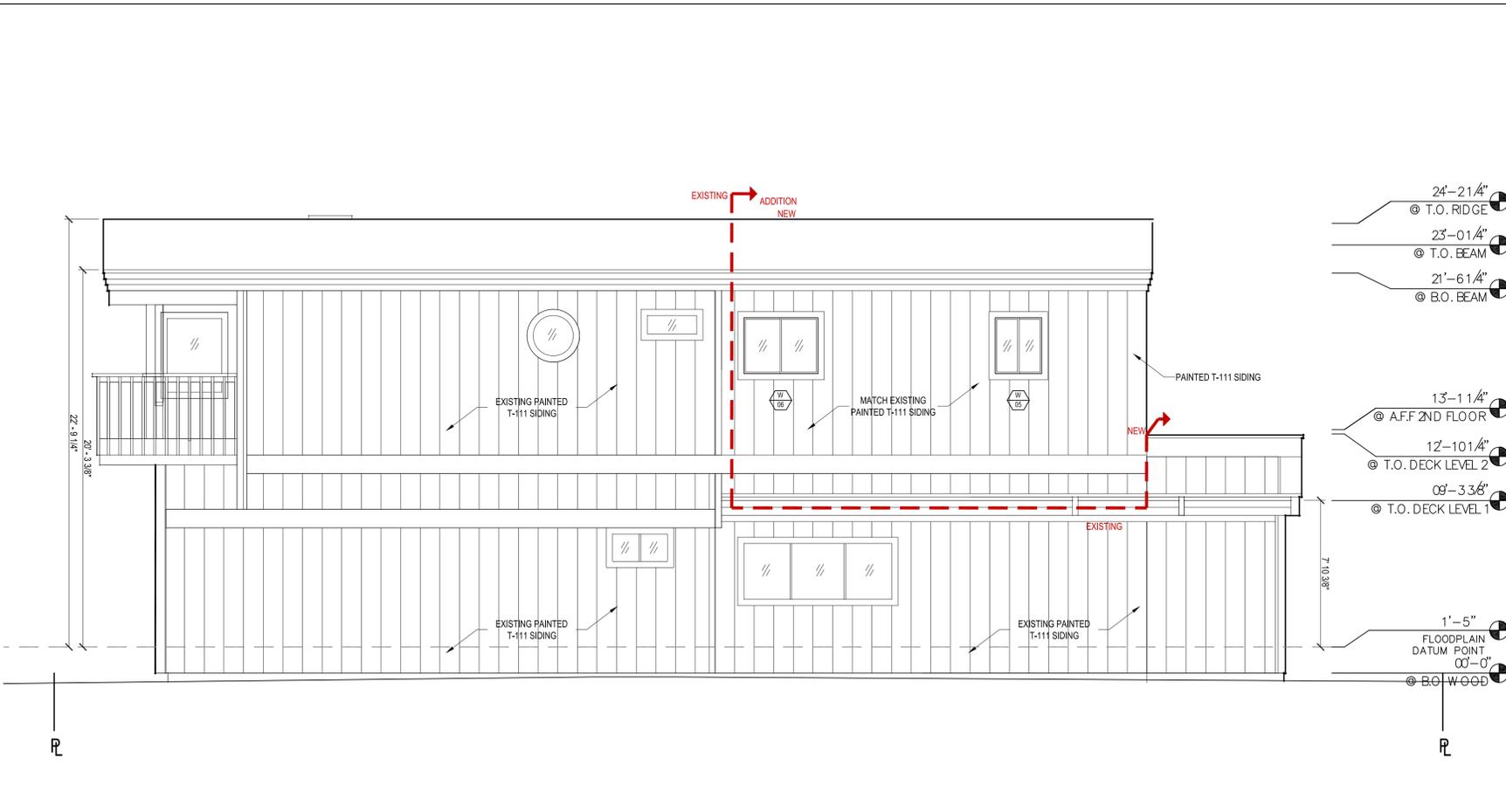
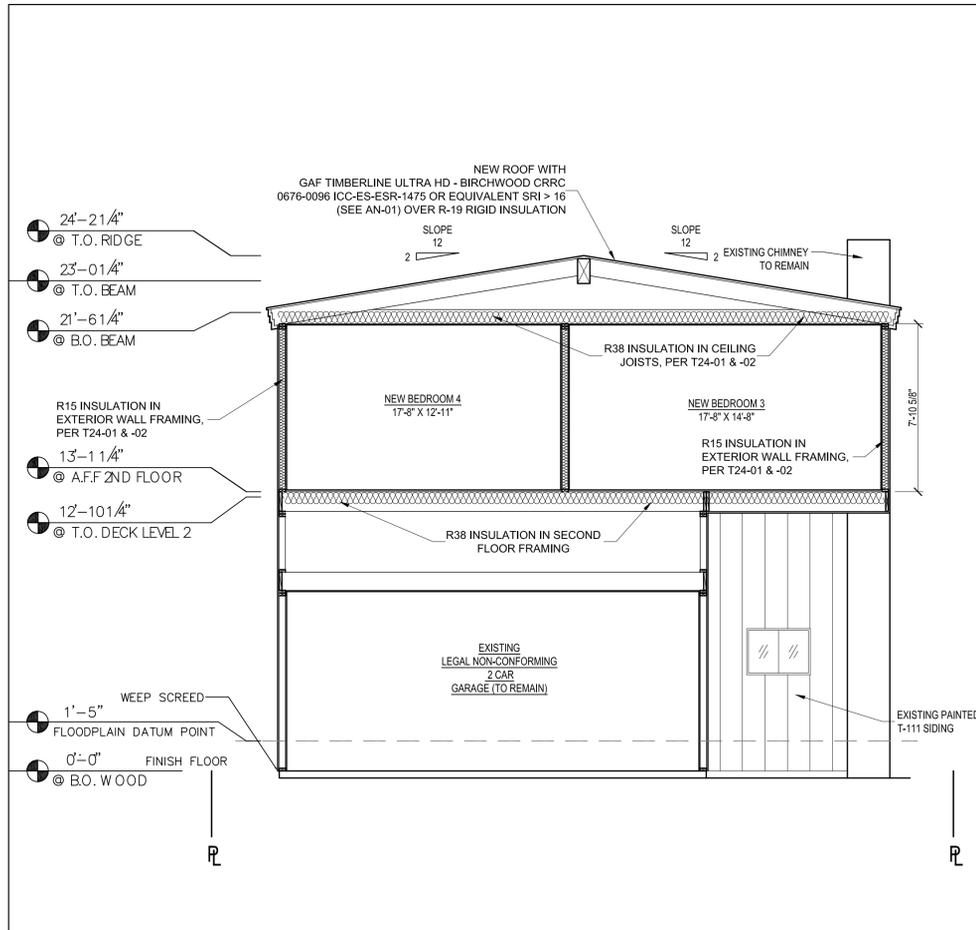
DATE:  
 JUNE 7TH, 2021

TITLE:  
**PROJECT ELEVATIONS**

JOB NO.: 12479

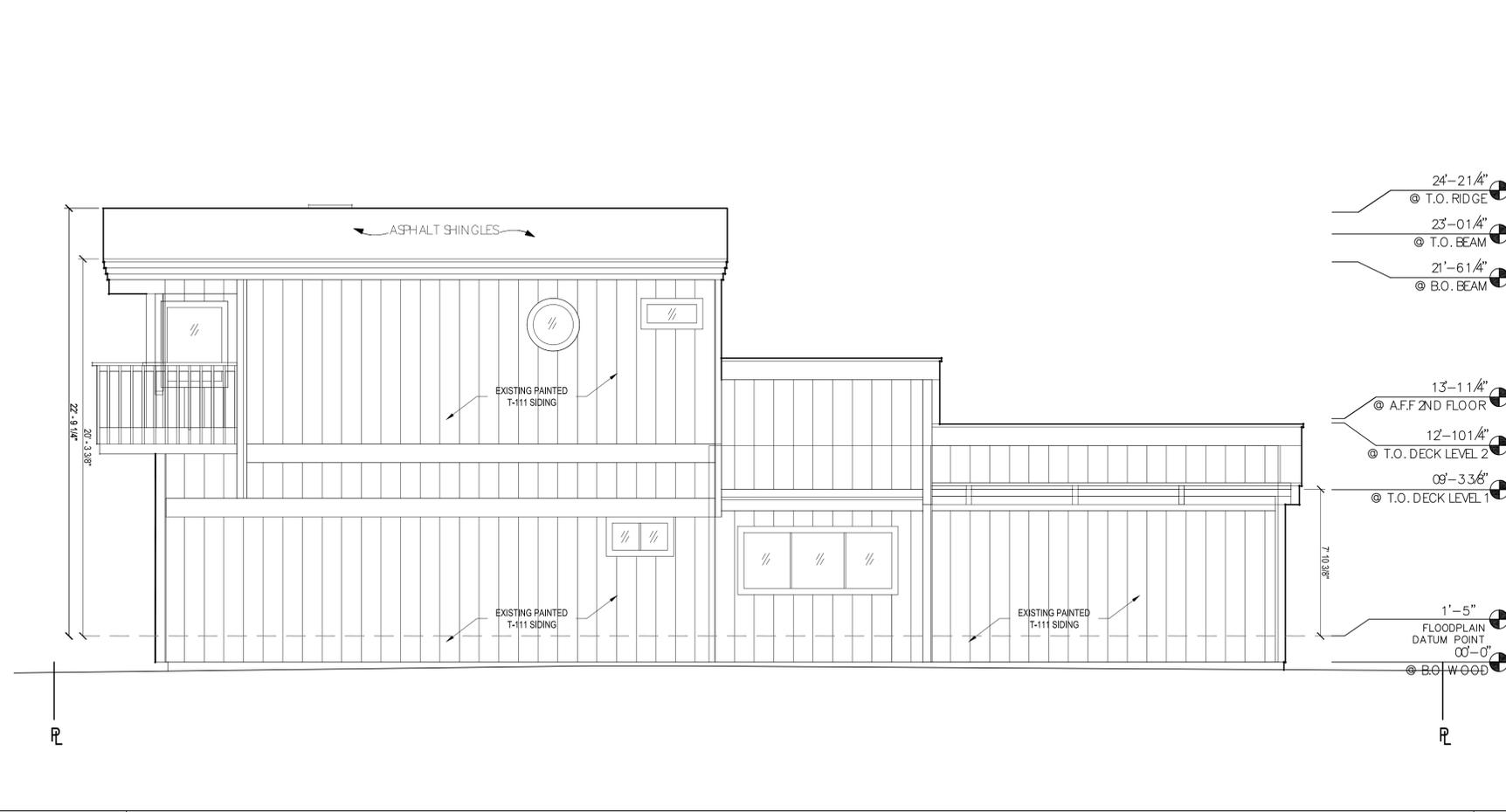
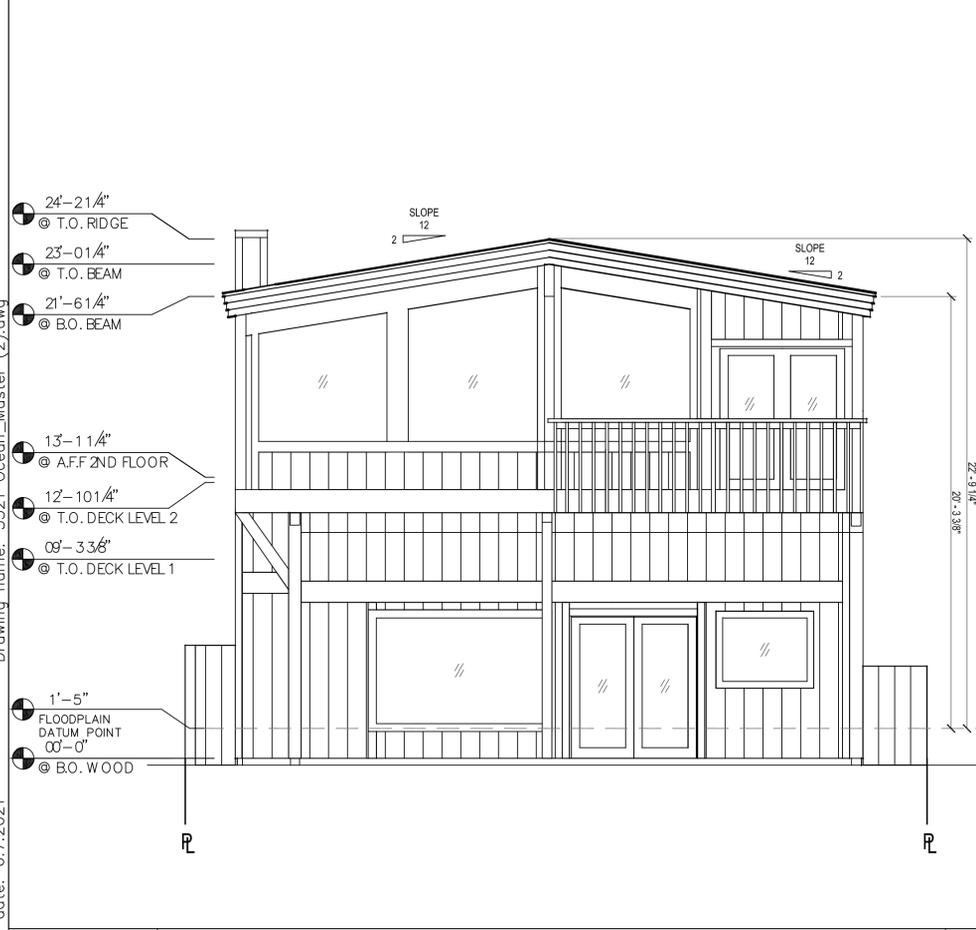
SHEET NO.:  
**A-04**

Plot date: 6.7.2021 Drawing name: 3321 Ocean\_Master (2).dwg



SCALE: 1/4" = 1' PROPOSED CROSS SECTION 4

SCALE: 1/4" = 1' PROPOSED NORTHWEST ELEVATION 2



SCALE: 1/4" = 1' EXISTING SOUTHWEST (HOLLYWOOD BEACH) ELEVATION, NOT TO CHANGE 3

SCALE: 1/4" = 1' PROPOSED SOUTHEAST ELEVATION 1

CONTRACTOR:  
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 310 401 1414

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PROJECT:  
**3321 OCEAN  
 SECOND FLOOR  
 ADDITION**

PROJECT ADDRESS:  
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 OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE:  
**CONSTRUCTION  
 DOCUMENTS**

DATE:  
 JUNE 7TH, 2021

TITLE:  
**PROJECT ELEVATIONS**

JOB NO.: 12479

SHEET NO.:  
**A-05**

Drawing name: 3321 Ocean\_Master (2).dwg Plot date: 6.7.2021



**GENERAL NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE INCLUDING ALL LOCAL ORDINANCES AND REQUIREMENTS. THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR THE PROPER DESIGN AND INSTALLATION OF ALL REQUIRED SHORING, BRACING, AND FORMWORK. THE METHODS, TECHNIQUES, SEQUENCE, PROCEDURES, SUPERVISION, AND INSTALLATION OF ALL SHORING AND BRACING SHALL BE PER THE MOST RECENT OSHA STANDARDS. ALL SHORING, BRACING, AND FORMWORK SHALL REMAIN IN PLACE UNTIL ALL WORK HAS BEEN SUITABLY COMPLETED.
- BRADLEY C. MOSER IS THE ENGINEER OF RECORD. ALL DIMENSIONS, ELEVATIONS, AND EXISTING IMPROVEMENTS SHALL BE VERIFIED AND DISCREPANCIES REPORTED TO BRADLEY C. MOSER AT 916-792-8527.
- NOT USED
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES ON DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO CONSTRUCTION DETAILS ARE NOTED, DETAILS SHALL BE THE SAME AS FOR ANY OTHER SIMILAR WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUPERVISION OF THE CONSTRUCTION WORK TO ENSURE THAT IT IS BUILT IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- THE APPROVED PLANS AND SPECIFICATIONS, INCLUDING REVISIONS, SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS. IN NO EVENT SHALL LOADS EXCEED THE DESIGN LOADINGS FOR THE SUPPORTING MEMBERS.
- NO CHANGES IN THE PLANS SHALL BE MADE AND NO EXTRA WORK PERFORMED UNLESS SO APPROVED BY THE ARCHITECT, CIVIL/STRUCTURAL ENGINEER, SOILS/GEOTECHNICAL ENGINEER, COUNTY/CITY INSPECTOR AND BUILDING OFFICIAL.
- IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO REQUIRE THE COMPLETION OF THE WORK IN A THOROUGH AND WORKMANLIKE MANNER IN EVERY RESPECT
- THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE BUILDING, LOT, SIDEWALKS, AND STREETS ALL RUBBISH AND DEBRIS AS IT ACCUMULATES. DUE TO THE WORK DONE UNDER CONTRACT, ALL COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING ON A DAILY BASIS.
- THE CONTRACTOR SHALL OBTAIN OR OTHERWISE FURNISH PERMITS, LICENSES, FEES, MATERIALS, LABOR, TOOLS, SUPPLIES, EQUIPMENT, TRANSPORTATION, SUPERINTENDENCE, TEMPORARY CONSTRUCTION OF ERECTING INSURANCE, TAXES AND ALL OTHER SERVICES AND FACILITIES NECESSARY TO COMPLETE THIS PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN FULL AND UNLIMITED WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH THE LABOR CODE IN THE STATE OF CALIFORNIA, AND SHALL CARRY PUBLIC CONTINGENT LIABILITY OF INSURANCE, IN AN AMOUNT SATISFACTORY TO AND IN COMPANIES SELECTED WITH THE CONSENT OF THE OWNER.
- EXCAVATIONS SHALL BE PER THE REQUIREMENTS OF THE STATE CONSTRUCTION SAFETY ORDERS AS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY.
- SUBMIT COPIES OF PERMITS, LICENSES, CERTIFICATIONS, INSPECTION REPORTS, RELEASES, JURISDICTIONAL SETTLEMENTS, NOTICES, RECEIPTS FOR FEE PAYMENTS, JUDGMENTS AND SIMILAR DOCUMENTS, CORRESPONDENCE FOR THE OWNER'S RECORDS.
- EVERY ITEM MENTIONED IN THE SPECIFICATIONS IS THE INTENDED MINIMUM QUALITY OF MATERIAL THAT WILL BE DEMANDED. SHOULD THE CONTRACTOR WISH TO SUGGEST ANY SUBSTITUTE CONSIDERED EQUAL IN VALUE AND EFFICIENCY WITH THE ONE SPECIFIED, IT SHALL BE STATED WHAT THE ITEM SUGGESTED IS AND THE DIFFERENCE IN COST, IF ANY.

**GRADING NOTES**

- THE AREA TO RECEIVE COMPACTED FILLS SHALL BE STRIPPED OF ALL VEGETATION, DEBRIS, EXISTING FILL, AND SOFT OR DISTURBED SOILS. THE EXCAVATED AREAS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER IN THE FIELD PRIOR TO PLACING CONTROLLED, COMPACTED FILL.
- THE EXPOSED GRADE SHALL BE BENCHED, APPROPRIATELY GRADED, SCARIFIED TO A DEPTH OF SIX INCHES, MOISTENED TO OPTIMUM MOISTURE AND RE-COMPACTED TO 90 PERCENT OF THE MAXIMUM DENSITY.
- THE EXCAVATED ON-SITE MATERIALS ARE CONSIDERED UNSATISFACTORY FOR REUSE IN THE ENGINEERED FILL. REMOVE ANY TRASH, ORGANIC, OR DELETERIOUS MATERIALS. REMOVE Boulders LARGER THAN 6 INCHES.
- SOIL SHALL BE SPREAD EVENLY IN LAYERS NOT TO EXCEED 4 INCHES WHILE LOOSE.

**FOUNDATION NOTES**

- THE FOUNDATION DESIGN IS BASED ON 2019 CBC 1500 PSI CODE MINIMUMS.
- UNLESS OTHERWISE INDICATED, FOUNDATION WORKS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CBC AND REQUIREMENTS OF THE CITY INSPECTOR.
- FOUNDATION AND CAISSONS EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE. A FINAL GEOLOGICAL INSPECTION REPORT OF THE CAISSON EXCAVATION SHALL BE PROVIDED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION. THE REPORT SHALL INCLUDE, BUT NOT LIMITED TO VERIFICATION OF TOTAL EXCAVATION DEPTH, PILE EMBEDMENT DEPTH, APPROVED EMBEDMENT MATERIAL.
- UNEXPECTED SOIL CONDITIONS: FOUNDATION DESIGN IS BASED UPON Oxnard COUNTY BUILDING CODE, WORST CASE CONDITION (CLAY). ANY SUBSURFACE CONDITIONS NOT IN ACCORDANCE WITH THIS CONDITION SHALL BE REPORTED TO THE SOILS ENGINEER IMMEDIATELY FOR RESOLUTION PRIOR TO CONTINUING ANY WORK.
- COMPACTION: MATERIAL FOR FILLING AND BACKFILLING SHALL CONSIST OF THE EXCAVATED MATERIAL AND/OR IMPORTED BORROW AND SHALL BE FREE OF ORGANIC MATTER, TRASH, LUMBER OR OTHER DEBRIS. COMPACT IN ACCORDANCE WITH ABOVE REFERENCED REPORT. EARTH SHALL BE COMPACTED UNDER ALL SLABS AND AROUND ALL FOOTINGS.
- FORM FOOTINGS AS NECESSARY. BOTTOM OF FOOTING SHALL BE STEPPED IF NECESSARY TO PROVIDE LEAD BEARING. FOUNDATION EXCAVATIONS SHALL BE CLEANED OF ANY LOOSENED SOILS AND STANDING WATER BEFORE PLACING STEEL OR CONCRETE.

**STRUCTURAL STEEL NOTES:**

- ALL STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. A36, 36 KSI YIELD STRESS, AND SHALL BE ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS FOR BUILDINGS.
- ALL STRUCTURAL STEEL SHALL BE FABRICATED IN A SHOP APPROVED BY THE LOCAL BUILDING DEPARTMENT.
- STRUCTURAL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION.
- STRUCTURAL STEEL SHALL HAVE A SHOP-APPLIED COAT OF RED-OXIDE PRIMER AND TWO COATS OF PAINT SPECIFICALLY INTENDED FOR PREVENTING CORROSION. COLOR TO BE BLACK OR DARK BROWN.
- AFTER ERECTION, ALL FIELD CONNECTIONS AND ALL ABRADED PLACES ON THE SHOP PAINT SHALL BE TOUCHED-UP WITH THE SAME TYPE OF PAINT AS THE SHOP COAT.
- FIELD WELDING SHALL BE DONE BY A DULY LABCS CERTIFIED WELDER USING LOW-HYDROGEN RODS. CONTINUOUS INSPECTION BY A REGISTERED INSPECTOR IS REQUIRED. ALL WELDING ELECTRODES SHALL CONFORM TO:

- STRUCTURAL STEEL: E70 SERIES REINFORCING STEEL: E80 SERIES
- BOLTS SHALL BE OF A307 QUALITY WITH WASHERS, UNLESS NOTED OTHERWISE. HIGH STRENGTH A325 BOLTS SHALL HAVE SPECIAL INSPECTION.
- SHOP WELDS MUST BE FABRICATED IN A LABCS LICENSED FABRICATOR'S SHOP.

**CONCRETE MASONRY NOTES:**

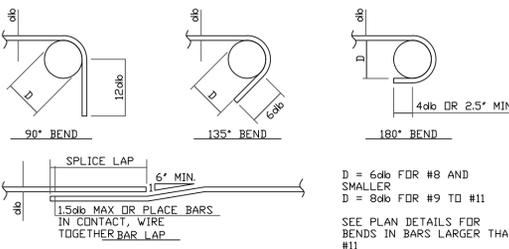
- CONCRETE MASONRY SYSTEM SHALL HAVE COMPRESSIVE STRENGTH  $F_c = 1500$  PSI. CONCRETE BLOCK, GRADE-N UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
- MORTAR, TYPE S, SHALL CONFORM TO ASTM C270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.
- GROUT, CONFORMING TO ASTM C476 MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS WITH A FLUID CONSISTENCY. GROUT ALL CELLS SOLD UNLESS OTHERWISE NOTED.
- PROVIDE TIE AS MAY BE REQUIRED BY THE BUILDING OFFICIAL.
- THE THICKNESS OF GROUT BETWEEN BLOCK UNITS AND REINFORCING STEEL SHALL BE NOT LESS THAN 1/2" AND BETWEEN PARALLEL REINFORCING BARS, NOT LESS THAN 1/2".
- IF WORK IS STOPPED ONE HOUR OR LONGER, PROVIDE HORIZONTAL CONSTRUCTION JOINTS BY STOPPING THE GROUT 1 - 1/2" BELOW THE TOP OF THE BLOCK.
- SPECIAL INSPECTION IN ACCORDANCE WITH 2019 CBC CHAPTER 17 BY AN INSPECTOR APPROVED BY THE BUILDING DEPARTMENT IS NOT REQUIRED UNLESS OTHERWISE NOTED.
- SEE REINFORCING STEEL NOTES AND STANDARD DETAILS FOR REBAR REQUIREMENTS. LAP ALL BARS 48 BAR DIAMETERS (HORIZONTAL AND VERTICAL).
- BEFORE BLOCK IS PLACED ON CONCRETE, THOROUGHLY CLEAN CONCRETE OF ALL LAITANCE AND ALL LOOSE MATERIAL. ROUGHEN AS IN A CONCRETE CONSTRUCTION JOINT.
- CLEAN OUT OPENINGS SHALL BE PROVIDED AT THE BOTTOMS OF ALL CELLS TO BE FILLE AT EACH LIFT OR POUR OF GROUT WHERE SUCH LIFT OR POUR OF GROUT IS IN EXCESS OF 5'-0" IN HEIGHT. ANY OVERHANGING MORTAR OR OTHER OBSTRUCTION OR DEBRIS SHALL BE REMOVED FROM INSIDE OF SUCH CELLS. THE CLEANOUTS SHALL BE SEALED AFTER INSPECTION AND BEFORE GROUTING. VIBRATE AND RE-VIBRATE EACH LIFT.

**CONCRETE NOTES**

- ALL PHASES OF WORK PERTAINING TO THE CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318, LATEST APPROVED EDITION) WITH MODIFICATION AS NOTED ON THE DRAWINGS.
  - ALL CONCRETE HAS BEEN DESIGNED FOR 2,500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. SPECIFIC MINIMUMS ARE AS FOLLOWS:
- | CONCRETE STRENGTHS $F_c$ |           |
|--------------------------|-----------|
| SLABS ON GRADE:          | 2,500 PSI |
| FOOTINGS:                | 2,500 PSI |
| CONCRETE GRADE BEAMS:    | 3,000 PSI |
| CONCRETE COLUMNS:        | 3,000 PSI |
| CONCRETE ELEVATED SLABS: | 3,000 PSI |
| CONCRETE BEAMS:          | 3,000 PSI |
| CAISSONS:                | 3,000 PSI |
- CONTINUOUS INSPECTION BY A CITY APPROVED DEPUTY INSPECTOR SHALL BE REQUIRED FOR POURING CONCRETE EXCEEDING 2,500 PSI.
  - ALL STRUCTURAL CONCRETE SHALL BE MADE FROM AGGREGATES BASED ON WEIGHT CLASSIFICATION AS SHOWN BELOW. NORMAL WEIGHT: ASTM C33 WITH PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN 0.05%.
  - CONCRETE MIX DESIGNS SHALL BE PREPARED BY AN INDEPENDENT LABORATORY AND REVIEWED BY THE ENGINEER.
  - ADMIXTURES SHALL COMPLY WITH ASTM C494 AND BE OF A TYPE THAT INCREASES THE WORKABILITY OF THE CONCRETE, BUT SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT (CALCIUM CHLORIDE SHALL NOT BE USED), ANY WATER REDUCING AGENTS ADDED SHALL BE USED TO REDUCE WATER/CEMENT RATIO.
  - CLEAR COVERAGE OVER REINFORCING BARS, ANCHOR BOLTS AND ALL OTHER CONCRETE INSERTS, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
- | CONCRETE AGAINST EARTH: |                                   |
|-------------------------|-----------------------------------|
| 3" CLEAR                | SLAB ON GRADE CONSTRUCTION:       |
| 2" CLEAR                | CENTERED IN SLAB FORMED CONCRETE: |
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT WHERE SHOWN. NOTIFY BE IN ADVANCE OF CONDITIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
  - DRY PACK UNDER BASE PLATES, SILL PLATES AND WHERE OTHERWISE NOTED ON DRAWINGS SHALL CONSIST OF 1 PART PORTLAND CEMENT AND 2.5 PARTS FINE AGGREGATE CONFORMING TO ASTM C33, WITH ENOUGH WATER TO FORM A BALL WHEN SQUEEZED BY HAND. THE SPACE BETWEEN TWO SURFACES REQUIRING DRY PACK SHALL BE PACKED WITH THE DRY PACK MATERIAL, BY TAMPING OR RAMMING WITH A BAR OR ROD, UNTIL THE VOIDS ARE COMPLETELY FILLED.
  - NON SHRINK GROUT SHALL BE A READY TO USE METALLIC AGGREGATE PROJECT REQUIRING ONLY THE ADDITION OF WATER AT THE JOB SITE, AND SHALL HAVE THE FOLLOWING ATTRIBUTES:
    - CAPABLE OF PRODUCING A FLOWABLE GROUTING MATERIAL HAVING NO DRYING SHRINKAGE OR SETTLEMENT AT ANYTIME.
    - THE COMPRESSIVE STRENGTH OF THE GROUT SHALL BE NOT LESS THAN 5,000 PSI AT SEVEN DAYS, AND 7,500 PSI AT 28 DAYS.
    - GROUT SHALL BE EMBECCO 636 PRODUCED BY MASTER BUILDERS (AVAILABLE FROM COMPTON SALES OFFICE: 310-886-1000), OR OTHER LISTED MAKES APPROVED BY THE BUILDING OFFICIAL.
  - FOR SLABS ON GRADE, LOCATE THE UNINDICATED CONSTRUCTION JOINTS IN A MANNER TO DIVIDE THE SLAB INTO AREAS NOT IN EXCESS OF 600 SQUARE FEET, WITH ONE DIMENSION BEING NOT GREATER THAN 1.2 TIMES THE OTHER. PLACE PERPENDICULAR TO THE MAIN FRAME REINFORCEMENT, AND CONTINUE REINFORCEMENT ACROSS JOINT. PROVIDE ISOLATION JOINTS IN SLABS ON GRADE AND VERTICAL SURFACES.
  - USE SIMPSON PDPW1L 2" SHOT PINS (OR EQUAL) @ 6" O.C. IN BEARING AND NON-BEARING WALLS

**REINFORCING STEEL NOTES**

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED, EXCEPT REINFORCING TO BE WELDED, WHICH SHALL CONFORM TO ASTM A706.
  - ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY NOTED "NOT REINFORCED" IN THE DRAWINGS. IF REINFORCING BARS ARE NOT SHOWN OR NOTED, PROVIDE SAME REINFORCEMENT AS FOR SIMILAR CONDITIONS ELSEWHERE IN THE WORK, OR AS DIRECTED BY THE ARCHITECT/ENGINEER.
  - REINFORCEMENT BARS #6 AND LARGER SHALL NOT BE SPLICED EXCEPT AS DETAILED AND LOCATED ON DRAWINGS. #4 AND SMALLER BARS WITH LENGTH NOT SHOWN SHALL BE CONTINUOUS. LAPPING IN CONCRETE 1'-0" MINIMUM. WALL HORIZONTAL REINFORCEMENT SPLICES SHALL BE STAGGERED. VERTICAL REINFORCEMENT SHALL BE SPLICED ONLY AT HORIZONTAL SUPPORTS, SUCH AS ROOF OR FLOOR UNLESS OTHERWISE NOTED ON DRAWINGS. ALL SPLICES SHALL BE CLASS B UNLESS NOTED OTHERWISE.
  - ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE ACCURATELY SET IN PLACE BEFORE CONCRETE IS POURED.
  - REINFORCEMENT BARS SHALL BE ACCURATELY PLACED AND FIRMLY SUPPORTED USING TIES AND SUPPORT BARS IN ADDITION TO REINFORCEMENT SHOWN WHERE FIRM AND ACCURATE PLACING IS NECESSARY AS SPECIFIED IN THE ACI STANDARDS. DOWELS SHOULD BE PROVIDED TO MATCH ALL REINFORCEMENT AT CONSTRUCTION JOINTS UNLESS OTHERWISE NOTED.
  - NO REINFORCEMENT WELDING SHALL BE DONE UNLESS SHOWN ON THE DRAWINGS, OR APPROVED BY THE ENGINEER (TACK WELDING INCLUDED).
  - ALL DIMENSIONS SHOWN FOR LOCATION OF REINFORCING ARE TO THE FACE OF BARS AND DENOTE CLEAR COVERAGE UNLESS OTHERWISE NOTED.
  - MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON PLANS:
- |  |    |
|--|----|
| CONCRETE CAST AGAINST GROUND:                    | 3" |
| FORMED CONCRETE BUT EXPOSED TO EARTH OR WEATHER: | 2" |
- DRAWINGS SHOW TYPICAL REINFORCING CONDITIONS. CONTRACTOR SHALL PREPARE DETAILED PLACEMENT DRAWINGS OF ALL CONDITIONS SHOWING QUANTITY, SPACING, SIZES, CLEARANCE, LAPS, INTERSECTIONS AND COVERAGE REQUIRED BY STRUCTURAL DETAILS, APPLICABLE CODE AND TRADE STANDARDS. CONTRACTOR SHALL NOTIFY REINFORCING INSPECTOR OF ANY ADJUSTMENTS FROM TYPICAL CONDITIONS WHICH ARE PROPOSED IN PLACEMENT DRAWINGS TO FACILITATE FIELD PLACEMENT OF REINFORCING STEEL AND CONCRETE.



**TIMBER FRAMING NOTES**

- ALL SILLS AND PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. ANCHOR BOLTS SHALL BE PLACED 4'-0" O.C. MAXIMUM AND 12" FROM EACH END OF A PLATE UNLESS NOTED OTHERWISE.
- PROVIDE DIAGONAL BRACING AT CORNERS AND EVERY 25 LINEAR FEET OF WALL, UNLESS SHEAR WALL IS OTHERWISE.
- UNLESS NOTED OTHERWISE ON FRAMING PLANS, ALL PLYWOOD ROOF SHEATHING SHALL BE 3/4" STANDARD CDX WITH EXTERIOR GLUE, PANEL IDENTIFICATION OF 24B, NAILED WITH 10D COMMON GALVANIZED NAILS AT 4" O.C. EDGE AND 12" O.C. FIELD NAIL. PLYWOOD FLOORING SHALL BE 3/4" CDX T&G PLYWOOD SHEATHING, GROUP 1, PANEL IDENTIFICATION OF 36/16, WITH EXTERIOR GLUE NAILED WITH 10D COMMONS AT 4" O.C. AT EDGES AND 12" O.C. FIELD NAIL. ALL WOOD SHALL CONFORM TO PS 1-95.
- FOR SHEAR WALLS ONLY, PLYWOOD SHALL BE DOUGLAS FIR STRUCTURAL I GRADE WITH EXTERIOR GLUE, PLYWOOD SHALL BE GRADE MARKED BY DPFA, TECO OR PTL AND SHALL CONFORM TO PS 1-95.
- PLYWOOD SHEETS SHALL BE LAID WITH THE LONG DIMENSIONS AND FACE GRADING PERPENDICULAR TO THE RAFTERS OR JOINTS, AND THE SHEETS SHALL BE STAGGERED AS SHOWN. EACH SHEET SHALL CONTAIN A MINIMUM OF 9 SQUARE FEET AND EXTEND TO 3 BEARINGS.
- PLYWOOD DIAPHRAGM SHALL BE INSPECTED AND APPROVED BEFORE FINISH IS LAID.
- ALL HORIZONTAL MEMBERS SHALL BE DOUGLAS FIR LARCH NO. 1 OR BETTER FOR 2X, 4X AND LARGER MEMBERS. ALL VERTICAL FRAMING SHALL BE DOUGLAS FIR NO. 2.
- SAWN LUMBER SHALL NOT EXCEED 19%/96% MOISTURE CONTENT.
- JOISTS OR RAFTERS SHALL NOT BE NOTCHED OR DAPPED IN ANY MANNER UNLESS DETAILED.
- FLOOR JOISTS GREATER THAN 4" IN DEPTH AND RAFTERS GREATER THAN 8" IN DEPTH SHALL HAVE WOOD SOLID BLOCKING AT ALL BEARINGS, AND SHALL HAVE A 2X FULL DEPTH SOLID BLOCKING OR CROSS BRIDGING AT SPANS EQUAL OR GREATER THAN 8'-0" FOR FLOOR JOISTS AND 10'-0" FOR RAFTERS.
- ALL HANGERS AND STANDARD FRAMING HARDWARE UNLESS NOTED OTHERWISE SHALL BE AS MANUFACTURED BY THE SIMPSON COMPANY AND ARE IDENTIFIED BY NUMBERS AS SHOWN IN THEIR LATEST CATALOG.
- TOP PLATES SHALL LAP LOWER PLATE AT CORNERS. BREAKS AT PLATE SHALL BE LAPPED A MINIMUM OF 4'-0", WITH 5-16D NAILS ON EACH SIDE.
- ALL WALLS CONTAINING PIPES 3" IN DIAMETER OR LARGER SHALL BE 2X6 STUDS AT 16" O.C.
- DOUBLE DOUBLE JOISTS AT ALL NON-BEARING PARTITIONS PARALLEL TO THE JOIST. DOUBLED OR TRIPLED HORIZONTAL MEMBERS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D COMMON NAILS AT 16" O/C STAGGERED.
- HOLES THROUGH SILLS, PLATES & STUDS IN INTERIOR BEARING AND SHEAR WALLS SHALL NOT EXCEED 1/3 THE PLATE OR STUD WIDTH.
- FRAMING AND NAILING NOT DETAILED ON THE PLANS ARE TO CONFORM TO THE MINIMUM STANDARDS PER TABLE 2304.10.1 OF THE 2019 CBC.
- ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE WASHERS. HOLES IN WOOD FOR BOLT HEADS SHALL BE DRILLED 1/8" LARGER THAN NOMINAL BOLT SIZE.
- BOLTS SHALL HAVE A DRIVE FIT WITH HEADS AND NUTS BEARING ON PLATE. WASHERS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE (THIS SCHEDULE ALSO APPLIES TO LAG SCREW HEADS):

NO.	DESCRIPTION	DETAIL
25	2" PLANKS, COMMON	16D @ EACH BEARING
26	COLLAR TIE TO RAFTER	3-10D
27	JACK RAFTER TO HIP	3-10D
28	ROOF RAFTER TO 2-BY RIDGE BEAM	2-16D
29	JOIST TO BAND JOIST	3-16D
30	LEDGER STRIP 3-16D COMMON (3 1/2" X 0.162')	3-16D
31	WOOD STRUCTURAL PANEL AND PARTICLE BOARD: SUBFLOOR AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS, 2 3/4" X 0.113" NAIL, 1 1/2" 16 GAGE	6D <sup>c,j</sup>
	19/32" 3/4" 2 3/4" X 0.113" NAIL, 2 1/2" 16 GAGE	8D <sup>c</sup> OR 6D <sup>c</sup>
	7/8" 1"	8D <sup>c</sup>
	1-1/8" 1-1/4"	10D <sup>c</sup> OR 8D <sup>c</sup>
	SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING): 3/4" AND LESS	6D <sup>c</sup>
	7/8" TO 1"	8D <sup>c</sup>
	1-1/8" TO 1-1/4"	10D <sup>c</sup> OR 8D <sup>c</sup>
32	PANEL SIDING (TO FRAMING): 1/2" OR LESS	6D <sup>c</sup>
	5/8"	8D <sup>c</sup>
33	FIBERBOARD SHEATHING: 1/2"	NO. 11 GAGE ROOFING NAIL (1" 6D COMMON NAIL (2" X 0.113") NO. 16 GAGE STAPLE NO. 11 GAGE ROOFING NAIL (1" 8D COMMON NAIL (2 1/2" X 0.131") NO. 16 GAGE STAPLE)
34	INTERIOR PANELING: 1/4"	4D <sup>j</sup>
	3/8"	6D <sup>c</sup>

- PROPERLY SIZED NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT PER 2019 CBC CHAPTER 23.
- CONNECTOR BOLT HOLES SHALL NOT BE MORE THAN 1/8" OVERSIZED. HOLDOWN CONNECTOR BOLT SHALL NOT BE MORE THAN 1/8" OVERSIZED AT THE CONNECTION OF THE HOLDOWN TO THE POST. HOLDOWN CONNECTORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING WALL FRAMING.
- LAG SCREWS SHALL BE INSTALLED IN PRE DRILLED HOLES. THE HOLES ARE TO BE OF THE SAME DIAMETER AS THE SHANK FOR THE SHANK PORTION AND 75% OF THE SHANK DIAMETER FOR THE THREADED PORTION. LAG SCREWS ARE TO BE INSERTED WITH THE TURN OF A WRENCH. DRIVING AS WITH A HAMMER, IS NOT PERMITTED. SOAP OR OTHER LUBRICANT SHALL BE USED ON THE LAG SCREW OR IN THE LEAD HOLES TO FACILITATE INSERTION AND PREVENT DAMAGE TO THE LAG SCREW

**MICROLLAMS/PARALLAMS/TIMBERSTRANDS**

- MICROLLAMS/PARALLAMS/TIMBERSTRANDS SHALL BE FABRICATED BY THE TRUI-JOIST OR AN APPROVED EQUAL IN STRUCTURAL DESIGN AND LOAD VALUES, CONFORM TO NER - 481 AND SHALL HAVE THE FOLLOWING STRUCTURAL PROPERTIES:

CATEGORY	DESIGN STRESSES (100% LOAD DURATION)				
	E PSI	F(b) PSI	F <sub>c</sub> L <sup>2</sup> /PSI <sup>2</sup>	F <sub>c</sub> II PSI	F <sub>v</sub> PSI
1. TIMBER STRAND LSL	1.5X10 <sup>6</sup>	2250 <sup>(1)</sup>	650	1950	285
2. MICROLLAM LVL	1.9X10 <sup>6</sup>	2600 <sup>(2)</sup>	750	2310	285
3. PARALLAM LVL	2.0X10 <sup>6</sup>	2900 <sup>(3)</sup>	650	2900	290

- FOR 1/2" DEPTH, FOR OTHERS, MULTIPLY BY (12/D) 0.111.
- F<sub>c</sub> SHALL NOT BE INCREASED FOR DURATION OF LOAD.
- DEPTH GREATER THAN 12" MULTIPLY F(b) BY (12/D) 0.136.
- DEPTH GREATER THAN 12" MULTIPLY F(b) BY (12/D) 0.092.
- FOR NOTCHING, DRILLING, AND MULTIPLE MEMBER CONNECTION, COMPLY WITH MFG'S SPECIFICATION OR CALL BRADLEY C. MOSER. 916-792-8527

**GLUE LAMINATED BEAMS**

- GLUE LAMINATED BEAMS SHALL BE WEST COAST DOUGLAS FIR-LARCH, WITH 1 - 1/2" OUTER AND CORE LAMINATIONS AND SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR STRUCTURAL GLUE LAMINATED TIMBER, A.I.T.C. #117 AND ALL APPROVED SUPPLEMENTS THEREOF.
- MOISTURE CONTENT OF THE LUMBER AT THE TIME OF GLUING SHALL BE NOT MORE THAN 16% WITH A MAXIMUM VARIATION OF 5% IN ANY BEAM.
- BEAMS SHALL CONFORM TO A.I.T.C. INDUSTRIAL APPEARANCE GRADE, UNLESS NOTED OTHERWISE.
- ENDS OF BEAMS SHALL BE SEALED AND BEAMS SHALL BE LOAD WRAPPED FOR PROTECTION DURING SHIPPING.
- A "CERTIFICATE OF INSPECTION", BY AN APPROVED INSPECTION AGENCY SHALL BE SUBMITTED TO THE CITY BUILDING AND SAFETY DEPARTMENT PRIOR TO ERECTION.
- FOR SIMPLY SUPPORTED BEAMS.....USE COMBINATION 24F-V4  
E. MODULUS OF ELASTICITY = 1,800,000 PSI  
F(b).BENDING STRESS = 2,400 PSI  
F(v). SHEAR STRESS = 800 PSI
- FOR CANTILEVER BEAMS.....USE COMBINATION 24F-V8  
E. MODULUS OF ELASTICITY = 1,800,000 PSI  
F(b). BENDING STRESS = 2,400 PSI  
F(v). SHEAR STRESS = 800 PSI
- FOR NOTCHING, DRILLING, AND MULTIPLE MEMBER CONNECTION, COMPLY WITH MFG'S SPECIFICATION OR CALL BRADLEY C. MOSER ENGINEERING CORP. @ 310-544-6010
- GLUE LAM TIMBER MUST BE FABRICATED IN A LABCS LICENSED SHOP. IDENTIFY GRADE SYMBOL AND LAMINATION SPECIES PER 2015 NDS SUPP. TABLE 5-A.
- PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIAMETER AND FULL DIAMETER OF R SMOOTH SHANK PORTION.

**TABLE 2304.10.1-NAILING SCHEDULE**

CONNECTION	FASTENING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8D
2. BRIDGING TO JOIST, TOENAIL, EACH END	2-8D
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8D
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8D
5. 2" SUBFLOOR TO JOIST, GIRDER, BLIND AND FACE NAIL	2-16D
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16D@16" O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACE WALL PANELS	3-16D PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16D
8. STUD TO SOLE PLATE	4-8D TOENAIL, OR 2-16D END NAIL
9. DOUBLE STUD, FACE NAIL	16D@24" O.C.
10. DOUBLE TOP PLATES, TYPICAL FACE NAIL	16D@16" O.C.
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8D
12. RIM JOIST TO TOP PLATE, TOENAIL	8D@6" O.C.
13. TOP PLATES, LAP & INTERSECTION, FACE NAIL	2-16D
14. CONTINUOUS HEADER TO STUD, TWO PIECES	16D@16" O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8D
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8D
17. CEILING JOISTS LAP OVER PARTITIONS, FACE NAIL	3-16D
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16D
19. RAFTER TO PLATE, TOENAIL	3-8D
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8D
21. 1"x2" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	3-8D
22. WIDER THAN 1"x2" SHEATHING TO EACH BEARING, FACE NAIL	3-8D
23. BUILT-UP CORNER STUDS, COMMON	16D@24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20D@32" @TOP & BOTTOM & STAGGERED 2-20D@ ENDS AND @ EACH SPLICE
25. 2" PLANKS, COMMON	16D@ EACH BEARING
26. COLLAR TIE TO RAFTER	3-10D
27. JACK RAFTER TO HIP	3-10D
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2-16D
29. JOIST TO BAND JOIST	3-16D
30. LEDGER STRIP 3-16D COMMON (3 1/2" X 0.162')	3-16D
31. WOOD STRUCTURAL PANEL AND PARTICLE BOARD: SUBFLOOR AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS, 2 3/4" X 0.113" NAIL, 1 1/2" 16 GAGE	6D <sup>c,j</sup>
19/32" 3/4" 2 3/4" X 0.113" NAIL, 2 1/2" 16 GAGE	8D <sup>c</sup> OR 6D <sup>c</sup>
7/8" 1"	8D <sup>c</sup>
1-1/8" 1-1/4"	10D <sup>c</sup> OR 8D <sup>c</sup>
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING): 3/4" AND LESS	6D <sup>c</sup>
7/8" TO 1"	8D <sup>c</sup>
1-1/8" TO 1-1/4"	10D <sup>c</sup> OR 8D <sup>c</sup>
32. PANEL SIDING (TO FRAMING): 1/2" OR LESS	6D <sup>c</sup>
5/8"	8D <sup>c</sup>
33. FIBERBOARD SHEATHING: 1/2"	NO. 11 GAGE ROOFING NAIL (1" 6D COMMON NAIL (2" X 0.113") NO. 16 GAGE STAPLE NO. 11 GAGE ROOFING NAIL (1" 8D COMMON NAIL (2 1/2" X 0.131") NO. 16 GAGE STAPLE)
34. INTERIOR PANELING: 1/4"	4D <sup>j</sup>
3/8"	6D <sup>c</sup>

- FOOTNOTES: FOR S1 NAIL = 25.4 MM.
- COMMON OR BOX NAIL MAYBE USED EXCEPT WHERE OTHERWISE STATED.
  - NAILS SPACED AT 6" O.C. AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT ALL SUPPORTS WHERE SPANS ARE 48" OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEARWALLS, REFER TO SECTIONS 2305. NAILS FOR WALL SHEARING ARE PERMITTED TO BE A COMMON, BOX OR CASING.
  - COMMON OR DEFORMED SHANK (6D-2" X 0.113"; 8D-2 1/2" X 0.113; 10D-3" X 0.148").
  - COMMON (6D-2" X 0.113"; 8D-2 1/2" X 0.131"; 10D-3" X 0.148").
  - DEFORMED SHANK (6D-2" X 0.113"; 8D-2 1/2" X 0.131"; 10D-3" X 0.148").
  - CORROSION-RESISTANT SIDING (6D-1 3/4" X 0.106"; 8D-2 1/2" X 0.128") OR CASING (6D-2" X 0.099") NAIL.
  - FASTENERS SPACED 3" O.C. @ EXTERIOR EDGES AND 6" O.C. AT INTERMEDIATE SUPPORT WHEN USED AS STRUCTURAL SHEATING. SPACING SHALL BE 6" ON CENTERS ON THE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS FOR NON STRUCTURAL APPLICATION.
  - CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1-3/4" LENGTH FOR 25/32" SHEATHING.
  - CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN AND 1-1/8" LENGTH FOR 1/2" SHEATHING AND 1-1/2" LENGTH FOR 25/32" SHEATHING. PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
  - CASING (1 1/2" X 0.080") OR FINISH (1 1/2" X 0.072) NAILS SPACED 6" ON PANEL EDGES, 12" AT INTERMEDIATE SUPPORTS.
  - PANEL SUPPORTS AT 24" CASING OR FINISH NAILS SPACED 6" ON PANEL EDGES, 12" AT INTERMEDIATE SUPPORTS.
  - FOR ROOF SHEATHING APPLICATIONS, 8D NAILS (2 1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
  - STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16" INCH.
  - FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS.
  - FASTENER SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" O.C. AT EDGES, 6" AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
  - FASTENER SPACED 4" O.C. AT EDGES, 8" AT INTERMEDIATE SUPPORTS.
  - FASTENER FOR PRESERVATIVE-TREATED SHALL BE HOT DIPPED

PLAN NOTES	
1.	All sections above to be placed over fill compacted to 90% relative compaction in accordance with ASTM D 1557 method of compaction.
2.	All slab bars to be centered in slab, unless noted otherwise.
3.	Soil type D with an allowable bearing load of 1500 psf was used in the design of this project.
4.	Roof sheathing to be 5/8" CDX plywood. Diaphragm nailing shall be 8d common nails @ 6" edge and 12" field unless noted otherwise.

PLAN LEGEND	
	CONCRETE RETAINING WALL WITH CONCRETE FOOTING PER PLAN DETAIL
	PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN
	SHEAR WALL TYPE AND LENGTH - PER PLAN
	HOLDDOWN TYPE, PER SCHEDULE
	DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6" o.c. MIN.). TOP PLATE TO BE CONTINUOUS, SPLICE PER TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.

- NOTES:**
- Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels may be installed horizontally or vertically.
  - Minimum 3"x3"x 1/4" plate washers required for all anchor bolts at shearwalls.
  - Nailing: Minimum 1/2" edge distance required at all panel edges and ends. Field nailing at 12" o.c. Minimum nail penetration 1 5/8". Common nails only.
  - 3x framing members at foundation sill plates and horizontal panel edge studs for all shear walls except A
  - Structural observation per Section 1702 of the CBC shall be provided when so designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
  - Simpson BP5/8 bearing plates (LARR25293), or other listed make, approved by building official, shall be used with all 5/8" dia anchors. 5/8" Simpson Titen HD (ICBO ER-1056) (LARR 25560) with 6" minimum embedment, may be used in lieu of 5/8" anchor bolts at existing footings with spacing per table above for anchor bolts.
  - When a shearwall is specified on both sides of wall, all sliding anchor connectors shall be attached with spacings from the above table reduced by half.

**HOLDOWN SPECIFICATIONS**

FIRST FLOOR HOLDOWN TABLE (HDU-LARR#25720, STRAPS-LARR#25713)						
HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS	
A	HDU2-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	1968#	NA	
B	HDU4-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	3143#	NA	
C	HDU5-SDS2.5	2-2X4 OR 2-2X6	7/8" ALL-TREAD-15" MIN.	4073#	NA	
D	HDU8-SDS2.5	4X6	7/8" ALL-TREAD-15" MIN.	6263#	NA	
E	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA	
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA	
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d	
H	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d	
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d	
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d	
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d	

- NOTES:**
- Foundation sills shall be naturally durable or preservative-treated wood. Field-cut ends, notches and drilled holes of preservative-treated wood shall be field-treated per AWWA M4.
  - Fasteners for preservative-treated wood shall be of hot dipped zinc-coated galvanized steel per ASTM A153.
  - Prior to requesting a Building Department foundation inspection, the soils engineer/ geotechnical consultant shall inspect and approve the foundation excavations.
  - Hold down hardware must be secured in place prior to foundation inspection.
  - Hold down connector bolts into wood framing require 0.229"x3"x3" plate washers on the post opposite the hold-down.
  - Hold downs shall be tightened to finger-tight plus one-half wrench turn just prior to covering the wall framing.

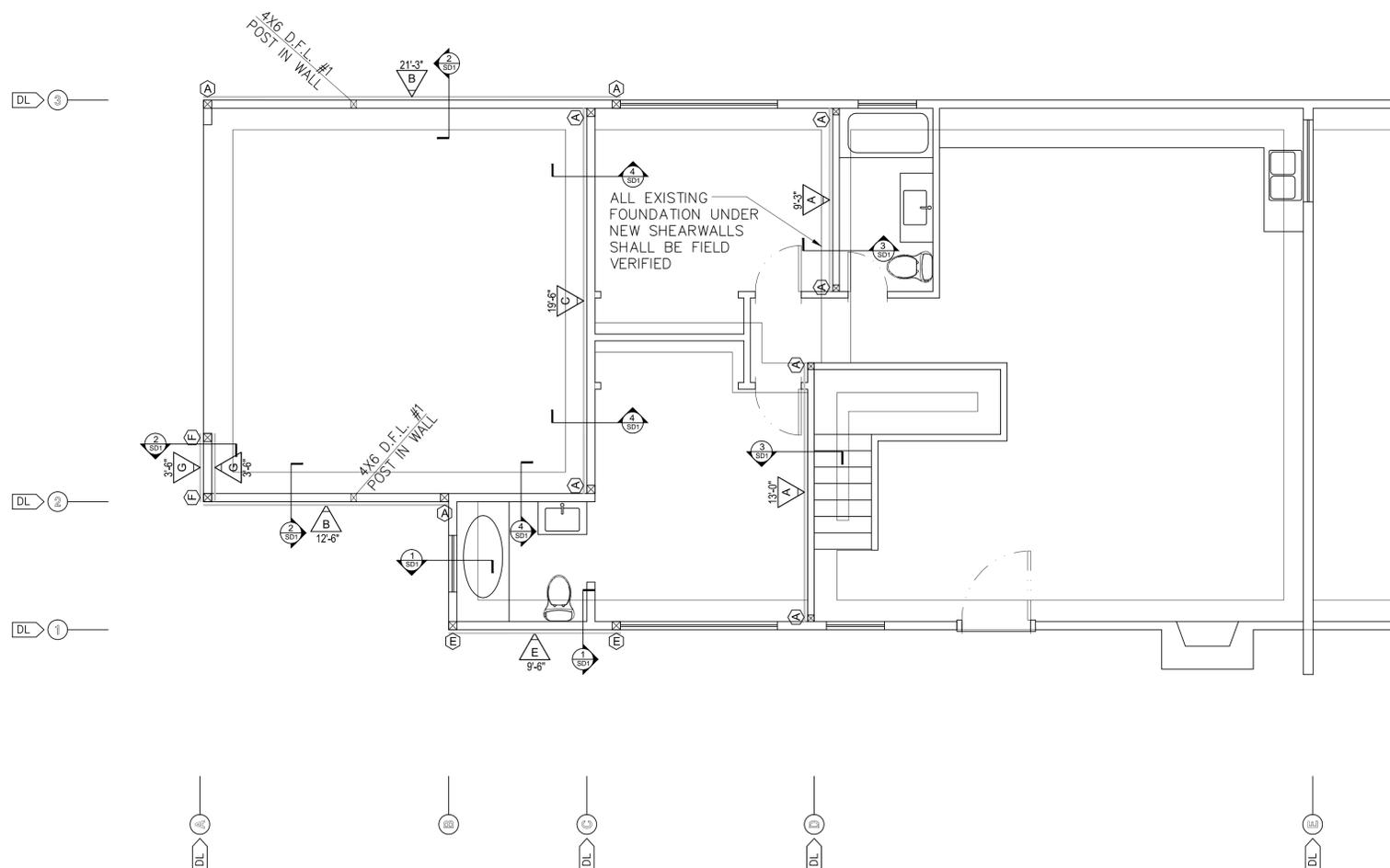
**SHEAR PANEL SCHEDULE**

SHEARWALL DESIGNATION	PLY SHEATHING	EDGE NAILING	ALLOWABLE SHEAR (psi)	SLIDING ANCHORS			SHEET BOTH FACES	3X SILL PLATS, STUDS, & BLKG REQUIRED	PERIODIC DEPUTY INSPECTION REQUIRED
				5/8" O.A.B. 2X SILL PL. V=1184# 3X SILL PL. V=1520#	CLIP SPACING SIMP. A35 V=450#	COM. 16d NAIL SPACING 2X SOLE PL. V=121#			
A	15/32" min. Struct 1	8d-6"	210	48"	24"	6"	NO	NO	YES
B	15/32" min. Struct 1	8d-4"	320	48"	16"	4"	NO	NO	YES
C	15/32" min. Struct 1	8d-3"	410	42"	12"	3"	NO	YES	YES
D	15/32" min. Struct 1	8d-2"	545	32"	9"	2"	NO	YES	YES
E	15/32" min. Struct 1	10d-3"	650	24"	8"	2 1/2"	NO	YES	YES
F	15/32" min. Struct 1	8d-3"	820	20"	8"	2 1/2"	YES	YES	YES
G	15/32" min. Struct 1	8d-2"	1090	16"	8"	2 1/2"	YES	YES	YES
H	15/32" min. Struct 1	10d-2"	1300	12"	8"	2 1/2"	YES	YES	YES

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THAN 48" O.C. AND NOT GREATER THAN 12" FROM EACH END OF A WALL.  
NOTE: ALL 3X PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED.

**SHEAR NOTES**

- All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.
- Install HD Hold Downs per Detail 4 of SD.3.
- D.S. = Drag Strut (all D.S. shall have boundary nailing.)
- Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.
- Hold-Down connector bolts into wood framing require approve plate washers; and hold-downs shall be finger tight and 1/2 wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with table 2305.5 of the City Building Dept. Code.
- Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. loor shall have tongue and groove or blocked panel edges. plywood spans shall conform with table 2304.7.
- All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- All bolt holes shall be drilled 1/32" to 1/16" oversized.
- Hold-down hardware must be secured in place prior to foundation inspection.



NOTE:  
IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED

Foundation Plan Scale: 1/4" = 1'

Bradley C. Moser P.E.  
116 Oakside Ln.  
Buellton, Ca. 93427

Remodel/Addition  
3321 Ocean Dr.  
Oxnard, Ca. 93035

REV DATE DESCRIPTION BY

Foundation Plan

DATE October 13, 2020

S-2.0

Scale 1/4" = 1'-0"



**SHEAR PANEL SCHEDULE**

SHEARWALL DESIGNATION	PLY SHEATHING	EDGE NAILING	ALLOWABLE SHEAR (plf)	SLIDING ANCHORS		SHEET BOTH FACES	3X SILL PLATE, STUDS, & BLKG REQUIRED	PERIODIC DEPUTY INSPECTION REQUIRED	
				5/8" DIA. B. 2X SILL PL. V=118# 3X SILL PL. V=152#	CLIP SPACING SIMP. A35 V=450#				
A	15/32" min. Struct 1	8d-6"	210	48"	24"	6"	NO	NO	YES
B	15/32" min. Struct 1	8d-4"	320	48"	16"	4"	NO	NO	YES
C	15/32" min. Struct 1	8d-3"	410	42"	12"	3"	NO	YES	YES
D	15/32" min. Struct 1	8d-2"	545	32"	9"	2"	NO	YES	YES
E	15/32" min. Struct 1	10d-3"	650	24"	8"	2 1/2"	NO	YES	YES
F	15/32" min. Struct 1	8d-3"	820	20"	8"	2 1/2"	YES	YES	YES
G	15/32" min. Struct 1	8d-2"	1090	16"	8"	2 1/2"	YES	YES	YES
H	15/32" min. Struct 1	10d-2"	1300	12"	8"	2 1/2"	YES	YES	YES

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THAN 48" O.C. AND NOT GREATER THAN 12" FROM EACH END OF A WALL.

HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS
A	HDU2-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	1969#	NA
B	HDU4-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	3143#	NA
C	HDU5-SDS2.5	2-2X4 OR 2-2X6	7/8" ALL-TREAD-15" MIN.	4073#	NA
D	HDU8-SDS2.5	4X6	7/8" ALL-TREAD-15" MIN.	6263#	NA
E	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d
H	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d

**SHEAR NOTES**

- All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.
- Install HD Hold Downs per manufacturers specifications.
- D.S. = Drag Strut (all D.S. shall have boundary nailing.)
- Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.
- Hold-Down connector bolts into wood framing require approve plate washers; and hold-downs shall be finger tight and 1/2 wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with table 2305.5 of the City Building Dept. Code.
- Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. floor shall have tongue and groove or blocked panel edges. plywood spans shall conform with table 2304.7.
- All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- All bolt holes shall be drilled 1/16" to 1/8" oversized.
- Hold-down hardware must be secured in place prior to foundation inspection.

**ROOF & FLOOR FRAMING NOTES**

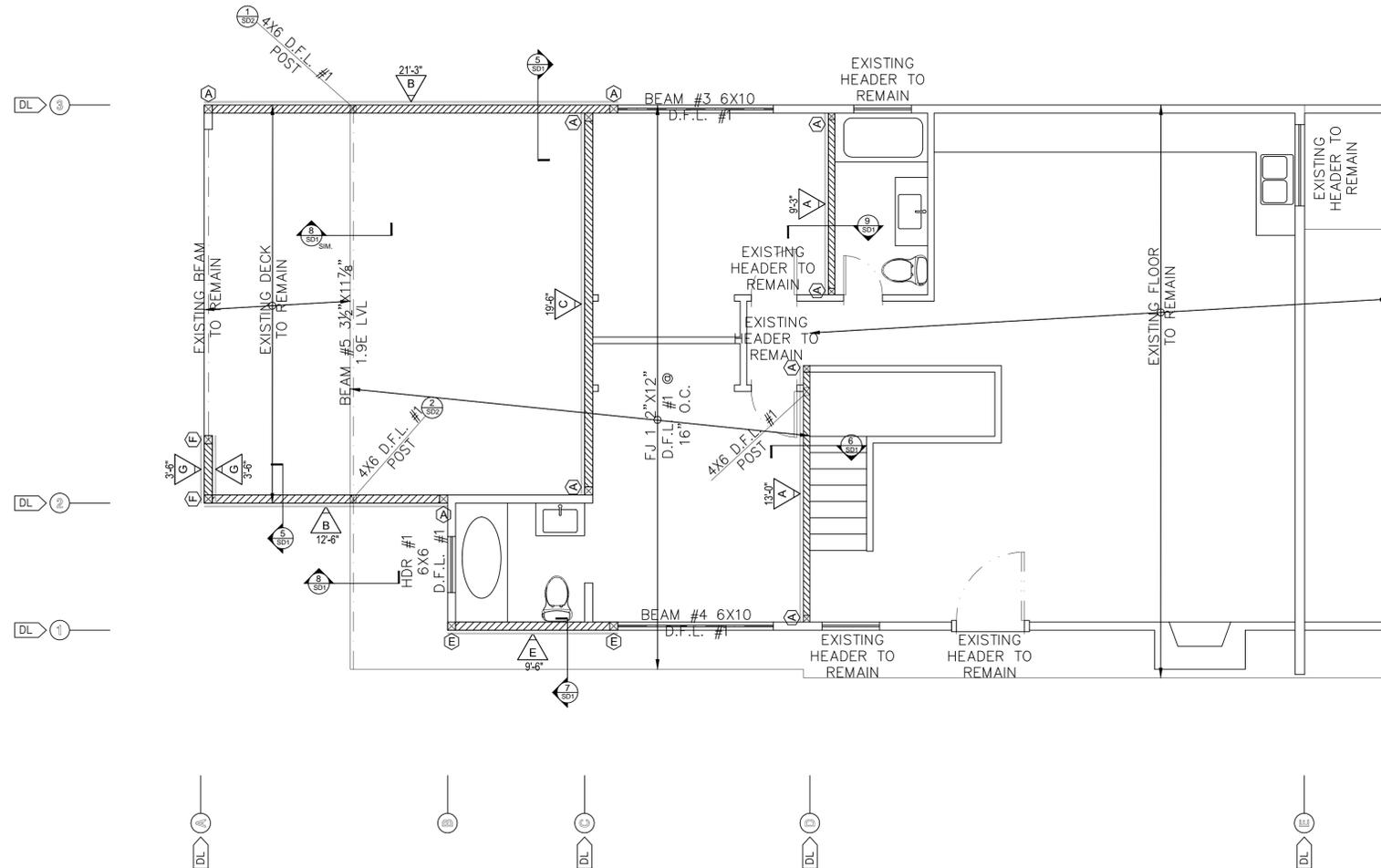
- P.A. = Post Above.  
G.L.B. = Gluelam beam. Camber per plan.  
P.L.M. = Parallam beam by Trus Joist Manufacturing.
- Do not make any electrical or plumbing hole @ gluelam or parallam without consulting with Bolton Engineering Corp. first.
- Run plywood beyond all shear walls without any interruption.
- Provide 2-member under all post & wall above (typ.) (min.)
- Provide Simpson "HW" hanger for all beam to beam conn.
- Frame all walls with 2x4 studs at 16" o.c. All posts to be 2-2x4 min unless noted otherwise. Fir walls as shown on architects plans and assembly drawings.
- All nailing to be per CBC Table 2306.4.1, as shown on Sheet S-1.0.
- Unless noted otherwise on framing plans, all plywood roof sheathing shall be 5/8" standard cdx with exterior glue, panel identification of 24/0, nailed with 10d common galvanized nails at 6" o.c. edge and 12" o.c. field nail. plywood flooring shall be 3/4" cdx t&g plywood sheathing, group 1, panel identification of 36/16, with exterior glue nailed with 10d commons at 6" o.c. at edges and 12" o.c. field nail. all wood shall conform to ps 1-95.

**PLAN LEGEND**

	PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN
	SHEAR WALL TYPE AND LENGTH - PER PLAN
	HOLDOWN TYPE, PER SCHEDULE
	DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6"oc, MIN.). TOP PLATE TO BE CONTINUOUS. SPLICE PER TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.
	POST ABOVE

**NOTES:**

- Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels may be installed horizontally or vertically.
- Minimum 3"x3"x 1/4" plate washers required for all anchor bolts at shearwalls.
- Nailing: Minimum 1/2" edge distance required at all panel edges and ends. Field nailing at 12" o.c. Minimum nail penetration 1 5/8". Common nails only.
- 3x framing members at foundation sill plates and horizontal panel edge studs for all shear walls except A
- Structural observation per Section 1702 of the CBC shall be provided when so designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
- Simpson BP5/B bearing plates (LARR25293), or other listed make, approved by building official, shall be used with all 5/8" dia anchors. 5/8" Simpson Titen HD (ICBO ER-1056) (LARR 25560) with 6" minimum embedment, may be used in lieu of 5/8" anchor bolts at existing footings with spacing per table above for anchor bolts.
- When a shearwall is specified on both sides of wall, all sliding anchor connectors shall be attached with spacings from the above table reduced by half.



2nd Floor Framing Plan Scale: 1/4" = 1'

**Oxnard COUNTY NOTES:**

- Fasteners for preservative-treated wood shall be of hot dipped zinc-coated galvanized steel per ASTM A153.
- Use full length studs (balloon frame) on exterior walls of rooms with vaulted ceilings.



Bradley C. Moser P.E.  
116 Oakside Ln.  
Buellton, Ca. 93427

**Remodel/Addition**  
3321 Ocean Dr.  
Oxnard, Ca. 93035

REV DATE DESCRIPTION BY

**2nd Floor Framing Plan**

DATE October 13, 2020

**S-3.0**

Scale 1/8" = 1'-0"

**SHEAR PANEL SCHEDULE**

SHEARWALL DESIGNATION	PLY SHEATHING	EDGE NAILING	ALLOWABLE SHEAR (plf)	SLIDING ANCHORS		SHEET BOTH FACES	3X SILL PLATE, STUDS, & BLKG REQUIRED	PERIODIC DEPUTY INSPECTION REQUIRED	
				5/8" DIA. B. 2X SILL PL. V=118# 3X SILL PL. V=1520#	CUP SPACING SIMP. A35 V=450#				
A	15/32" min. Struct 1	8d-6"	210	48"	24"	6"	NO	NO	YES
B	15/32" min. Struct 1	8d-4"	320	48"	16"	4"	NO	NO	YES
C	15/32" min. Struct 1	8d-3"	410	42"	12"	3"	NO	YES	YES
D	15/32" min. Struct 1	8d-2"	545	32"	9"	2"	NO	YES	YES
E	15/32" min. Struct 1	10d-3"	650	24"	8"	2 1/2"	NO	YES	YES
F	15/32" min. Struct 1	8d-3"	820	20"	8"	2 1/2"	YES	YES	YES
G	15/32" min. Struct 1	8d-2"	1090	16"	8"	2 1/2"	YES	YES	YES
H	15/32" min. Struct 1	10d-2"	1300	12"	8"	2 1/2"	YES	YES	YES

NOTE: ALL OTHER ANCHOR BOLTS SHALL BE SPACED NOT GREATER THAN 48" O.C. AND NOT GREATER THAN 12" FROM EACH END OF A WALL.

**HOLDOWN SPECIFICATIONS**

HOLDOWN TYPE	HOLDOWN NAME	MINIMUM REQUIRED POST	REQ. BOLT-EMBED.	CAPACITY	LENGTH/# NAILS
A	HDU2-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	1969#	NA
B	HDU4-SDS2.5	2-2X4 OR 2-2X6	5/8" ALL-TREAD-10" MIN.	3143#	NA
C	HDU5-SDS2.5	2-2X4 OR 2-2X6	7/8" ALL-TREAD-15" MIN.	4073#	NA
D	HDU8-SDS2.5	4X6	7/8" ALL-TREAD-15" MIN.	6263#	NA
E	HDU11-SDS2.5	4X6	1" Ø THREAD-18" MIN.	7575#	NA
F	HDU14-SDS2.5	4X8 OR 6X6	1" Ø THREAD-18" MIN.	11025#	NA
G	CS16 STRAP 32"	2X4 OR 2X6	NA	1279#	32"/26-8d
H	MSTC40 STRAP	4X4	NA	2250#	40"/36-16d
I	MSTC52 STRAP	4X4	NA	3000#	52"/48-16d
J	MSTC66 STRAP	4X4	NA	4245#	66"/68-16d
L	CMST12 STRAP	4X6	NA	6926#	94"/86-16d

**SHEAR NOTES**

- All exterior wall shall have (min.) plywood of 1/2" Struct. 2. w/ 8d nails @ 6", 12" O.C. (typ.) except where shear wall occurs.
- Install HD Hold Downs per manufacturers specifications.
- D.S. = Drag Strut (all D.S. shall have boundary nailing.)
- Use 2x4 studs @ 16" O.C. @ all shear & bearing walls except where noted otherwise.
- Hold-Down connector bolts into wood framing require approve plate washers; and hold-downs shall be finger tight and 1/2 wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with table 2305.5 of the City Building Dept. Code.
- Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports. floor shall have tongue and groove or blocked panel edges. plywood spans shall conform with table 2304.7.
- All diaphragm and shear wall nailing shall utilize common nails or galvanized box.
- All bolt holes shall be drilled 1/8" to 1/16" oversized.
- Hold-down hardware must be secured in place prior to foundation inspection.

**ROOF & FLOOR FRAMING NOTES**

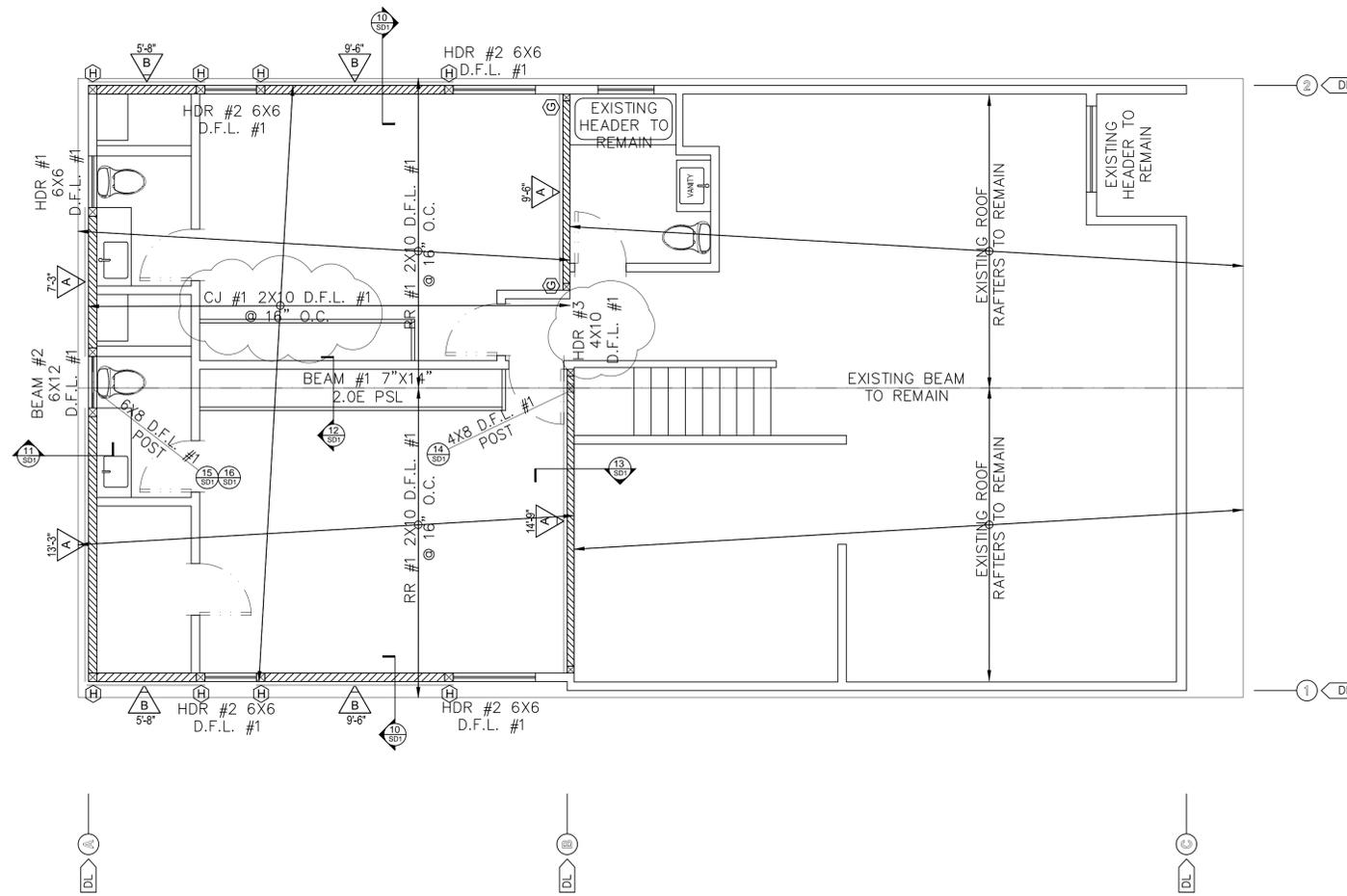
- P.A. = Post Above.  
G.L.B. = Gluelam beam. Camber per plan.  
P.L.M. = Parallam beam by Trus Joist Manufacturing.
- Do not make any electrical or plumbing hole @ gluelam or parallam without consulting with Bolton Engineering Corp. first.
- Run plywood beyond all shear walls without any interruption.
- Provide 2-member under all post & wall above (typ.) (min.)
- Provide Simpson "HW" hanger for all beam to beam conn.
- Frame all walls with 2x4 studs at 16" o.c. All posts to be 2-2x4 min unless noted otherwise. Fir walls as shown on architects plans and assembly drawings.
- All nailing to be per CBC Table 2306.4.1, as shown on Sheet S-1.0.
- Unless noted otherwise on framing plans, all plywood roof sheathing shall be 5/8" standard cdx with exterior glue, panel identification of 24/0, nailed with 10d common galvanized nails at 6" o.c. edge and 12" o.c. field nail. plywood flooring shall be 3/4" cdx t&g plywood sheathing, group 1, panel identification of 36/16, with exterior glue nailed with 10d commons at 6" o.c. at edges and 12" o.c. field nail. all wood shall conform to ps 1-95.

**PLAN LEGEND**

	PROPOSED SHEAR WALL PER SCHEDULE AND POST PER PLAN
	SHEAR WALL TYPE AND LENGTH - PER PLAN
	HOLDOWN TYPE, PER SCHEDULE
	DRAG LINE-BOUNDARY NAIL ALONG THIS LINE (8d @ 6"oc, MIN.). TOP PLATE TO BE CONTINUOUS. SPLICE PER TYPICAL DETAIL ON SHEET SD.1 OF GENERAL NOTES.
	POST ABOVE

**NOTES:**

- Plywood grade per CBC Table 2306.4.1 as shown on this sheet. Plywood panels may be installed horizontally or vertically.
- Minimum 3"x3"x 1/4" plate washers required for all anchor bolts at shear walls.
- Nailing: Minimum 1/2" edge distance required at all panel edges and ends. Field nailing at 12" o.c. Minimum nail penetration 1 5/8". Common nails only.
- 3x framing members at foundation sill plates and horizontal panel edge studs for all shear walls except A
- Structural observation per Section 1702 of the CBC shall be provided when so designated by the architect or engineer of record, or, when such inspection is specifically required by the building official.
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- When a shearwall is specified on both sides of wall, all sliding anchor connectors shall be attached with spacings from the above table reduced by half.



Roof Framing Plan Scale: 1/4" = 1'

**Oxnard COUNTY NOTES:**

- Fasteners for preservative-treated wood shall be of hot dipped zinc-coated galvanized steel per ASTM A153.
- Use full length studs (balloon frame) on exterior walls of rooms with vaulted ceilings.



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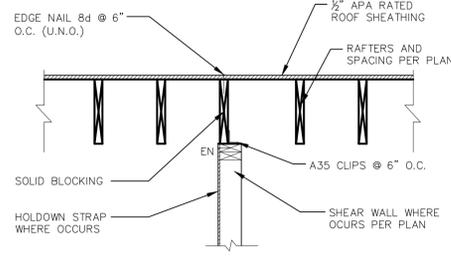
REV DATE DESCRIPTION BY

**2nd Floor Framing Plan**

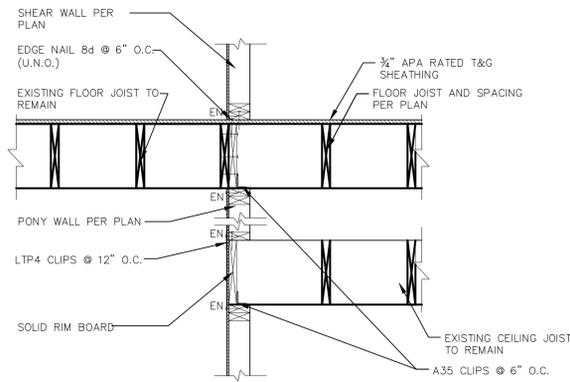
DATE October 13, 2020

**S-4.0**

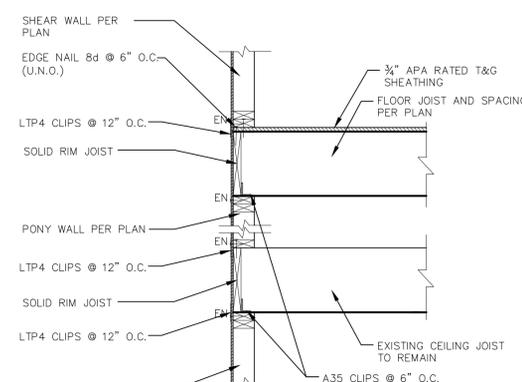
Scale 1/8" = 1'-0"



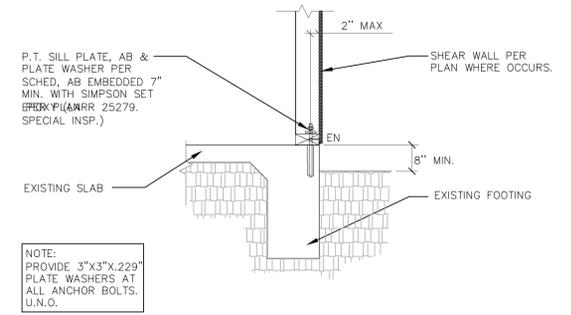
Shear Transfer  
Not To Scale



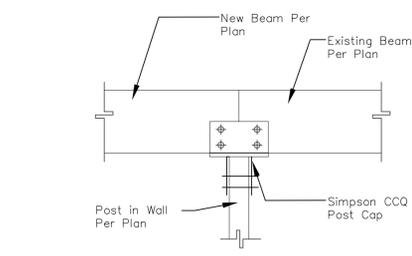
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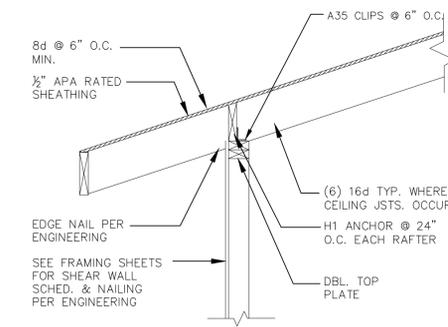
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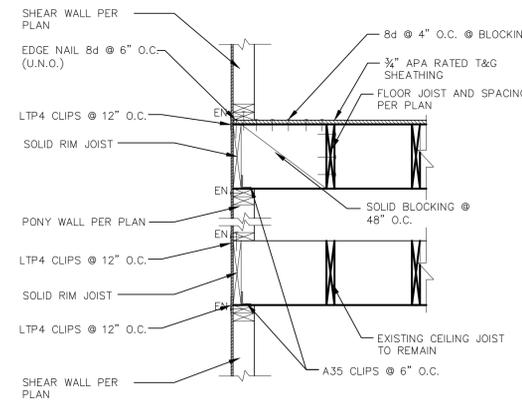
Existing Footing  
Not To Scale



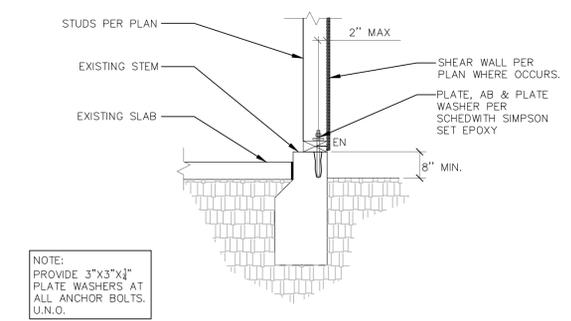
Beam to Post  
Not To Scale



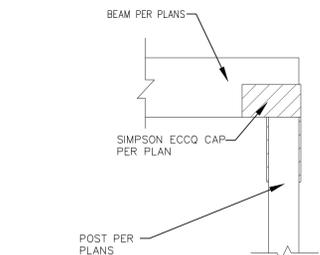
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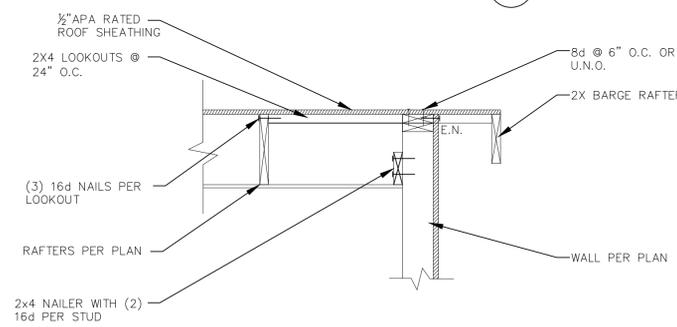
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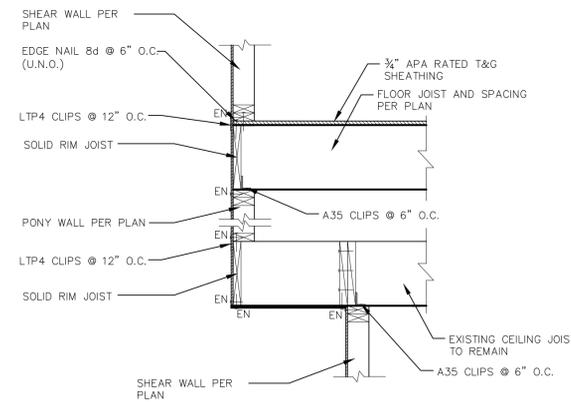
Existing Garage Footing  
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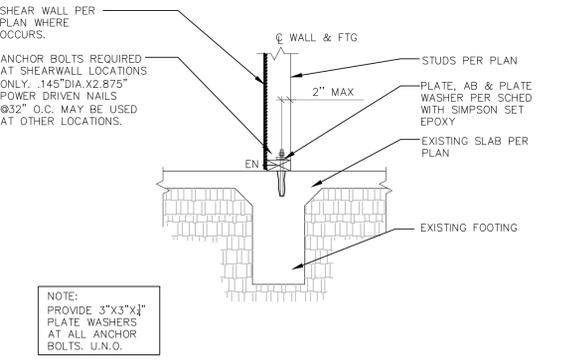
Beam to Post  
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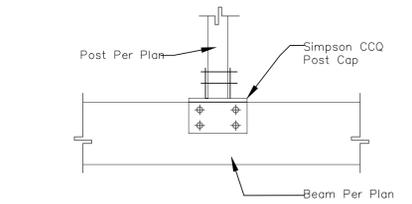
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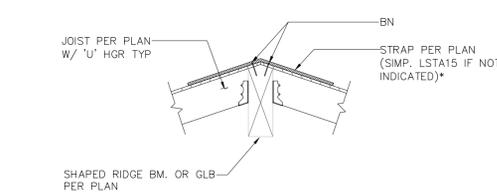
Shear Transfer  
Not To Scale



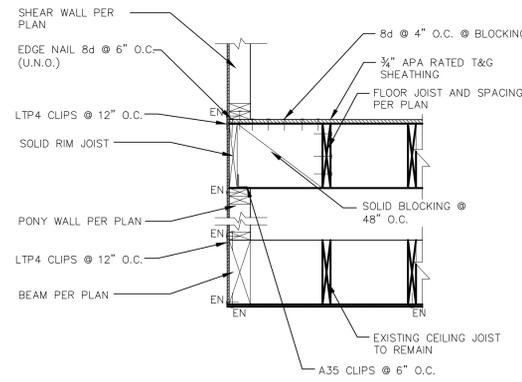
Existing Interior Footing  
Not To Scale



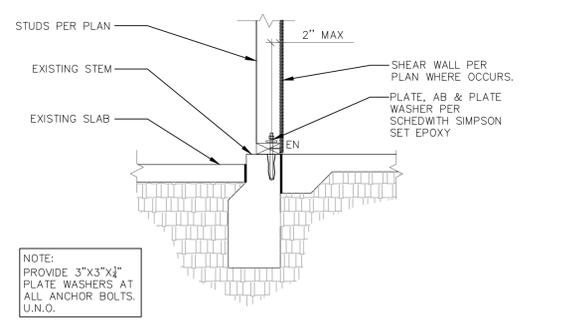
Post to Beam  
Not To Scale



Ridge Beam  
Not To Scale



Shear Transfer  
Not To Scale



Existing Garage Footing  
Not To Scale

\*NOTE: LSTA & 'U' HGR MAY BE SUBSTITUTED BY JB HANGER, AT CONTRACTOR'S OPTION

NOTE: PROVIDE 3\"/>

NOTE: PROVIDE 3\"/>

NOTE: PROVIDE 3\"/>

Bradley C. Moser P.E.  
116 Oakside Ln.  
Buellton, Ca. 93427

Remodel/Addition  
3321 Ocean Dr.  
Oxnard, Ca. 93035

BY DESCRIPTION REV DATE

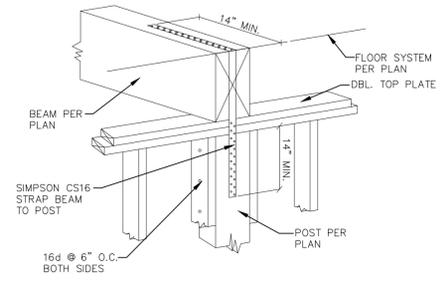
Structural Details

DATE October 13, 2020

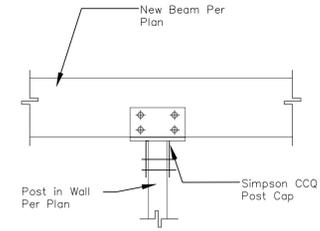
SD-1

Scale N/A





Beam to Post  
Not To Scale



Beam to Post  
Not To Scale

Bradley C. Moser P.E.  
116 Oakside Ln.  
Buellton, Ca. 93427

**Remodel/Addition**  
3321 Ocean Dr.  
Oxnard, Ca. 93035

BY

DESCRIPTION

DATE

REV

# Structural Details

DATE October 13, 2020

## SD-2

Scale N/A



GENERAL INFORMATION									
01	Project Name	Residential Building							
02	Run Title	Title 24 Analysis							
03	Project Location	3121 Ocean Drive							
04	City	05	Standards Version	2019					
06	Zip code	07	Software Version	EnergyPro 8.2					
08	Climate Zone	09	Front Orientation (deg/ Cardinal)	45					
10	Building Type	11	Number of Dwelling Units	1					
12	Project Scope	13	Number of Bedrooms	4					
14	Addition Cond. Floor Area (ft²)	15	Number of Stories	2					
16	Existing Cond. Floor Area (ft²)	17	Fenestration Average U-Factor	0.34					
18	Total Cond. Floor Area (ft²)	19	Glazing Percentage (%)	15.47%					
20	ADU Bedroom Count	21	ADU Conditioned Floor Area	n/a					
22	Is Natural Gas Available?	Yes							

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	Building does not require field testing or HERS verification
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (kTDU/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	19.94	20.53	-0.59	-3
Space Cooling	34.22	32.8	1.42	4.1
IAQ Ventilation	0	0	0	0
Water Heating	15.11	15.11	0	0
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	69.27	68.44	0.83	1.2

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
 Schema Version: rev 20200901  
 HERS Provider: Report Generated: 2020-12-23 08:13:06

OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Aslimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Raised Floor 2	Second Floor (Existing)	Default Floor No Crawlspace	n/a	n/a	149	n/a	n/a		Existing	No
Interior Surface Floor	Second Floor	R-19 Floor No Crawlspace1	n/a	n/a	247	n/a	n/a		New	n/a
Interior Surface Floor 2	Second Floor	R-0 Floor No Crawlspace	n/a	n/a	340	n/a	n/a		New	n/a
Interior Surface Floor 3	Second Floor (Existing)	Default Floor No Crawlspace1	n/a	n/a	643	n/a	n/a		Existing	No
Northwest Wall 4	Garage	R-0 Wall	315	Right	105	0	90	none	Existing	No
Northwest Wall 3	Garage	R-0 Wall	45	Front	171.1	0	90	none	Existing	No
Southwest Wall 4	Garage	R-0 Wall	135	Left	164.1	0	90	none	Existing	No

OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Aslimuth	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof (Slope 2/12)	Garage	R-0 Roof Cathedral	45	Front	153	0	0	0.1	0.85	No	Existing	No	

ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Second Floor	Attic Roof/Second Floor	Ventilated	2	0.1	0.85	No	No	New	n/a
Attic Second Floor (Existing)	Attic Roof/Second Floor (Existing)	Ventilated	2	0.1	0.85	No	No	Existing	No

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
 Schema Version: rev 20200901  
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OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Default Wall Prior to 1971	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic Roof/Second Floor	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic Roof/Second Floor (Existing)	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-30 Roof/Attic	Ceilings (Below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-38.9 ins. I. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
Default Roof Prior to 1971	Ceilings (Below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.083	Over Ceiling Joists: R-19 ins. I. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-19 Floor No Crawlspace	Exterior Floors	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.052	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6
Default Floor No Crawlspace	Exterior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.24	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
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REQUIRED SPECIAL FEATURES						
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.						
<ul style="list-style-type: none"> <li>Ceiling has high level of insulation</li> <li>New ductwork added is less than 40 ft. in length</li> </ul>						
HERS FEATURE SUMMARY						
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional details is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry						
Building-level Verifications:						
<ul style="list-style-type: none"> <li>None</li> </ul>						
Cooling System Verifications:						
<ul style="list-style-type: none"> <li>None</li> </ul>						
Heating System Verifications:						
<ul style="list-style-type: none"> <li>None</li> </ul>						
HVAC Distribution System Verifications:						
<ul style="list-style-type: none"> <li>None</li> </ul>						
Domestic Hot Water System Verifications:						
<ul style="list-style-type: none"> <li>None</li> </ul>						

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	2442	1	4	3	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	983	10.3	DHW Sys 1	N/A
Second Floor	Conditioned	HVAC System1	657	8	DHW Sys 1	N/A
Second Floor (Existing)	Conditioned	HVAC System1	792	9	DHW Sys 1	N/A

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
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FENESTRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Aslimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
Window	Window	Northwest Wall	Right	315			1	35.7	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Northwest Wall	Front	45			1	6.5	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Southeast Wall	Left	135			1	28.5	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 4	Window	Southeast Wall	Back	225			1	91.2	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Northwest Wall 2	Right	315			1	19.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 6	Window	Northwest Wall 2	Front	45			1	10	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 7	Window	Southeast Wall 2	Left	135			1	19.5	0.34	NFRC	0.34	NFRC	Bug Screen	New	n/a
Window 8	Window	Southeast Wall 3	Left	135			1	18.3	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No
Window 9	Window	Southeast Wall 2	Back	225			1	148.6	0.58	Table 110.6-A	0.65	Table 110.6-B	Bug Screen	Existing	No

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door	Northwest Wall	23.3	0.5	Existing	No

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
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OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-19 Floor No Crawlspace1	Interior Floors	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.049	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6 Ceiling Below Finish: Gypsum Board
R-0 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board
Default Floor No Crawlspace1	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Aslimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Northwest Wall	First Floor	Default Wall Prior to 1971	315	Right	453.8	59	90	none	Existing	No
Northwest Wall	First Floor	Default Wall Prior to 1971	45	Front	67	6.5	90	none	Existing	No
Southwest Wall	First Floor	Default Wall Prior to 1971	135	Left	380.6	28.5	90	none	Existing	No
Southwest Wall	First Floor	Default Wall Prior to 1971	225	Back	277.2	91.2	90	none	Existing	No
Northwest Wall 2	Second Floor	R-13 Wall	315	Right	184.7	19.5	90	none	New	n/a
Northwest Wall 2	Second Floor	R-13 Wall	45	Front	231	10	90	none	New	n/a
Northwest Wall 2	Second Floor	R-13 Wall	135	Left	184.7	19.5	90	none	New	n/a
Northwest Wall 3	Second Floor (Existing)	Default Wall Prior to 1971	315	Right	269.2	0	90	none	Existing	No
Southwest Wall 3	Second Floor (Existing)	Default Wall Prior to 1971	135	Left	268.7	18.3	90	none	Existing	No
Southwest Wall 2	Second Floor (Existing)	Default Wall Prior to 1971	225	Back	259.9	148.6	90	none	Existing	No
Interior Surface Wall	First Floor	Default Wall Prior to 1971	n/a	n/a	231	0	n/a		Existing	No
Roof (Slope 2/12)	Second Floor	R-30 Roof Attic	n/a	n/a	667	n/a	n/a		New	n/a
Roof (Slope 2/12) 2	Second Floor (Existing)	Default Roof Prior to 1971	n/a	n/a	792	n/a	n/a		Existing	No
Raised Floor	Second Floor	R-19 Floor No Crawlspace	n/a	n/a	80	n/a	n/a		New	n/a

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: Report Version: 2019.1.300  
 Schema Version: rev 20200901  
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SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	First Floor	983	142	none	0	80%	No	Existing	No
Slab 2	Garage	400	79.9	none	0	0%	No	Existing	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total C			





### 2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply. (01/20/20)

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, Solar Water-Heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Ducts and Fans Measures, CMC Compliance, Factory-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, Air Filtration, and Space Conditioning System Airflow Rate and Fan Efficiency.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, Lighting Measures, and Interior Switches and Controls.

CONTRACTOR:  
**Blue Coast Inc.**  
P O Box 5562  
Santa Monica CA 90409  
310 401 1414

STRUCTURAL ENGINEER:  
**Bradley Moser P.E.**  
116 Oaksdale Ln.  
Buellton, Ca, 93427  
bcmnsse@hotmail.com  
(916) 792-8527

DRAWN BY:  
**José Eduardo González**  
2907 Buckingham Rd  
Los Angeles CA 90016  
goeduardo@gmail.com  
310 384 8766

PROJECT:  
**3321 OCEAN  
SECOND FLOOR  
ADDITION**

PROJECT ADDRESS:  
**3321 OCEAN DR  
OXNARD, CA 93035**

REV.	DESCRIPTION	DATE
1	RESUBMITTAL	06/07/21

PHASE:  
**CONSTRUCTION  
DOCUMENTS**

DATE:  
**JUNE 7TH, 2021**

TITLE:  
**BUILDING ENERGY  
ANALYSIS REPORT**

JOB NO.: 12479

SHEET NO.:  
**t24-03**



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Residential Garages for Eight or More Vehicles, Interior Common Areas of Low-rise Multifamily Residential Buildings, Solar Ready Buildings, Minimum Solar Zone Area, Azimuth, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Documentation, and Main Electrical Service Panel.

Plot date: 6.7.2021 Drawing name: 3321 Ocean\_Master (2).dwg

**EXHIBIT 4**  
**DRAFT CONDITIONS OF APPROVAL FOR (COASTAL) PD PERMIT**  
**CASE NO. PL20-0138**

**RESOURCE MANAGEMENT AGENCY (RMA)**

**Planning Division Conditions**

1. Project Description

This Coastal Planned Development Permit is based on and limited to compliance with the project description stated in this condition below, Exhibit 3 of the Planning Director hearing on November 4, 2021, and conditions of approval set forth below. Together, these conditions and documents describe the "Project." Any deviations from the Project must first be reviewed and approved by the County in order to determine if the Project deviations conform to the Project as approved. Project deviations may require Planning Director approval for changes to the permit or further California Environmental Quality Act (CEQA) environmental review, or both. Any Project deviation that is implemented without requisite County review and approval(s) may constitute a violation of the conditions of this permit and applicable law.

The Project description is as follows:

The Project is a request for a Coastal Planned Development (PD) Permit to authorize a 667 square foot (sq. ft.) addition to the second floor of an existing 1,797 sq. ft. two-story single-family beachfront dwelling with a 388 sq. ft. attached two-car garage. The proposed addition includes the addition of 2 bedrooms making the bedroom count 4 and the square footage of the residence to total 2,464 sq. ft. of living space. The project will also include reinforcement of ground floor walls under the proposed addition through the installation of half-inch plywood panels. The existing building coverage is 1,555 sq. ft. and will not increase with the second-story addition. Parking requirements will be met with the existing two-car garage.

Access to the project site is provided by a private driveway which connects to Ocean Drive. Water and sewer services will be provided by Channel Islands Beach Community Services District. (Exhibit 3)

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and all approved County land use hearing exhibits in support of the Project and conditions of approval below.

County of Ventura Planning Director Hearing Case No. PL20-0138 Exhibit 4 - Draft Conditions of Approval
---

## 2. Required Improvements for PD

**Purpose:** To ensure the project site conforms to the plans approved at the Planning Director hearing in support of the project.

**Requirement:** The Permittee shall ensure that all required off-site and on-site improvements for the Project, are completed in conformance with the approved plans stamped as hearing Exhibit 3. The Permittee shall prepare and submit all final building and site plans for the County's review and approval in accordance with the approved plans.

**Documentation:** The Permittee shall obtain Planning Division staff's stamped approval on the project plans and submit them to the County for inclusion in the Project file. The Permittee shall submit additional plans to the Planning Division for review and stamped approval (e.g., tree protection and landscape plans) for inclusion in the Project file, as necessary.

**Timing:** Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit all final development plans to the Planning Division for review and approval. Unless the Planning Director and/or Public Works Agency Director allow the Permittee to provide financial security and a final executed agreement, approved as to form by the County Counsel, that ensures completion of such improvements, the Permittee shall complete all required improvements prior to final inspection. The Permittee shall maintain the required improvements for the life of the Project.

**Monitoring and Reporting:** The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

## 3. Site Maintenance

**Purpose:** To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous conditions or unsightly conditions which are visible from outside of the Project site.

**Requirement:** The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description shall be stored within the Project site during the life of the Project. Include specifications on where and how equipment and/or materials should be stored onsite.

**Documentation:** The Permittee shall maintain the Project site in compliance with Condition No. 1 and the approved plans for the Project.

**Timing:** The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition No. 1 throughout the life of the Project.

**Monitoring and Reporting:** The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

4. PD Modification

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this PD. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a PD modification is required. If a PD modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and
- b. Environmental review, as required pursuant to the California Environmental Quality Act (CEQA; California Public Resources Code, §§ 21000-21178) and the State CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387), as amended from time to time.

5. Construction Activities

Prior to any construction, the Permittee shall obtain a Zoning Clearance for construction from the Planning Division, and a Building Permit from the Building and Safety Division. Prior to any grading, the Permittee shall obtain a Grading Permit from the Public Works Agency.

6. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this PD Permit and/or commencement of construction and/or operations under this PD Permit shall constitute the Permittee's formal agreement to comply with all conditions of this PD Permit. Failure to abide by and comply with any condition of this PD Permit shall constitute grounds for enforcement action provided in the Ventura County Coastal Zoning Ordinance (Article 13), which shall include, but is not limited to, the following:

- a. Public reporting of violations to the Planning Commission and/or Board of Supervisors;
- b. Suspension of the permitted land uses (Condition No. 1);
- c. Modification of the PD Permit conditions listed herein;

- d. Recordation of a "Notice of Noncompliance" on the deed to the subject property;
- e. The imposition of civil administrative penalties; and/or
- f. Revocation of this PD Permit.

The Permittee is responsible for being aware of and complying with the PD Permit conditions and all applicable federal, state, and local laws and regulations.

7. Time Limits

a. Use inauguration:

The approval decision for this PD Permit becomes effective upon the expiration of the 10 day appeal period following the approval date on which the Planning Director rendered the decision on the Project, or when any appeals of the decision are finally resolved. Once the approval decision becomes effective, the Permittee must obtain a Zoning Clearance for construction in order to initiate the land uses set forth in Condition No. 1.

- (1) This PD Permit shall expire and become null and void if the Permittee fails to obtain a Zoning Clearance for construction within one year – see the Ventura County Coastal Zoning Ordinance (§ 8181-7.7)] from the date the approval decision of this PD becomes effective. The Planning Director may grant a one year extension of time to the Permittee in order to obtain the Zoning Clearance for construction if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to implement the Project, and the Permittee has requested the time extension in writing at least 30 days prior to the one year expiration date.
- (2) Prior to the issuance of the Zoning Clearance for construction, all fees and charges billed to that date by any County agency, as well as any fines, penalties, and sureties, must be paid in full. After issuance of the Zoning Clearance for construction any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this PD Permit.
- (3) The County decision-maker grants the requested modification.

The uses authorized by this CUP may continue during processing of a timely-filed modification application in accordance with § 8181-5.7 of the Ventura County Coastal Zoning Ordinance.

8. Documentation Verifying Compliance with Other Agencies' Requirements Related to this PD Permit

**Purpose:** To ensure compliance with, and notification of, federal, state, and/or local government regulatory agencies that have requirements that pertain to the Project (Condition No. 1, above) that is the subject of this PD Permit.

**Requirement:** Upon the request of the Planning Director, the Permittee shall provide the Planning Division with documentation (e.g., copies of permits or agreements from other agencies, which are required pursuant to a condition of this PD Permit) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the Project.

**Documentation:** The Permittee shall provide this documentation to Planning Division staff in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division Project file.

**Timing:** The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction.

**Monitoring and Reporting:** The Planning Division maintains the documentation provided by the Permittee in the respective Project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the Project or the other agency's requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

9. Notice of PD Permit Requirements and Retention of PD Permit Conditions On Site

**Purpose:** To ensure full and proper notice of these PD Permit conditions affecting the use of the subject property.

**Requirement:** Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors who regularly conduct activities associated with the Project, of the pertinent conditions of this PD Permit.

**Documentation:** The Permittee shall maintain a current set of PD Permit conditions and exhibits at the project site.

**Timing:** Prior to issuance of a Zoning Clearance for construction and throughout the life of the Project.

**Monitoring and Reporting:** The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

10. Recorded Notice of Land Use Entitlement

**Purpose:** The Permittee shall record a "Notice of Land Use Entitlement" form and the conditions of this PD Permit with the deed for the subject property that notifies the current and future Property Owner(s) of the conditions of this PD Permit.

**Requirement:** The Permittee shall sign, have notarized, and record with the Office of the County Recorder, a "Notice of Land Use Entitlement" form furnished by the Planning

Division and the conditions of this PD Permit, with the deed of the property that is subject to this PD Permit.

**Documentation:** Recorded "Notice of Land Use Entitlement" form and conditions of this PD.

**Timing:** The Permittee shall record the "Notice of Land use Entitlement" form and conditions of this PD Permit, prior to issuance of a zoning clearance for construction.

**Monitoring and Reporting:** The Permittee shall return a copy of the recorded "Notice of Land Use Entitlement" form and conditions of this PD Permit to Planning Division staff to be included in the Project file.

11. Financial Responsibility for Compliance Monitoring and Enforcement

- a. **Cost Responsibilities:** The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Coastal Zoning Ordinance (§ 8183-5) related to this PD Permit. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.
- b. **Billing Process:** The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this PD Permit. The Permittee shall have the right to challenge any charge or penalty prior to payment.

12. Defense and Indemnification

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or

enforcement of this PD Permit. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.

- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this PD Permit, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this PD Permit, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this PD Permit serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

13. Invalidation of Condition(s)

If any of the conditions or limitations of this PD Permit are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining PD Permit conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this PD Permit, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This PD Permit shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings and/or the mitigation measures associated with the approval of this PD Permit, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director

cannot identify substitute feasible conditions/mitigation measures to replace the invalidated condition, and cannot identify overriding considerations for the significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this PD Permit may be revoked.

14. Consultant Review of Information and Consultant Work

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this PD Permit, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In accordance with Condition No. 11 above, if the County hires a consultant to review any work undertaken by the Permittee, or hires a consultant to review the work undertaken by a contractor of the Permittee, the hiring of the consultant will be at the Permittee's expense.

15. Relationship of PD Permit Conditions, Laws, and Other Entitlements

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any PD Permit condition contained herein is in conflict with any other PD Permit condition contained herein, when principles of law do not provide to the contrary, the PD Permit condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this PD Permit for uses allowed by the Ventura County Ordinance Code shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this PD Permit, nor compliance with the conditions of this PD Permit, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

16. Change of Permittee

**Purpose:** To ensure that the Planning Division is properly and promptly notified of any change of Permittee.

**Requirement:** The Permittee shall file, as an initial notice with the Planning Director, the new name(s), address(es), telephone/FAX number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). The Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

**Documentation:** The initial notice must be submitted with the new Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) of the permitted uses acknowledging and agreeing to comply with all conditions of this PD Permit.

**Timing:** The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

**Monitoring and Reporting:** The Planning Division maintains notices submitted by the Permittee in the Project file and has the authority to periodically confirm the information consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

17. Construction Noise

**Purpose:** In order for this project to comply with the Ventura County General Plan *Goals, Policies and Programs* Noise Policy 2.16.2-1(5) and the County of Ventura Construction Noise Threshold Criteria and Control Plan (Amended 2010).

**Requirement:** The Permittee shall limit construction activity for site preparation and development to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

**Documentation:** The Permittee shall post a sign stating these restrictions in a conspicuous location on the Project site, in order so that the sign is visible to the general public. The Permittee shall provide photo documentation showing posting of the required signage to the Planning Division, prior to the commencement of grading and construction activities. The sign must provide a telephone number of the site foreman, or other person who controls activities on the jobsite, for use for complaints from the public. The Permittee shall maintain a "Complaint Log," noting the date, time, complainant's name, complaint, and any corrective action taken, in the event that the

Permittee receives noise complaints. The Permittee must submit the "Complaint Log" to the Planning Division upon the Planning Director's request.

**Timing:** The Permittee shall install the sign prior to the issuance of a building permit and throughout all grading and construction activities. The Permittee shall maintain the signage on-site until all grading and construction activities are complete. If the Planning Director requests the Permittee to submit the "Complaint Log" to the Planning Division, the Permittee shall submit the "Complaint Log" within one day of receiving the Planning Director's request.

**Monitoring and Reporting:** The Planning Division reviews, and maintains in the Project file, the photo documentation of the sign and the "Complaint Log." The Planning Division has the authority to conduct site inspections and take enforcement actions to ensure that the Permittee conducts grading and construction activities in compliance with this condition, consistent with the requirements of § 8183-5 of the Ventura County Coastal Zoning Ordinance.

## **PUBLIC WORKS AGENCY (PWA)**

### **Development and Inspection Services Conditions**

#### **Integrated Waste Management Division (IWMD) Conditions**

##### 18. Construction & Demolition Debris Recycling Plan (Form B)

**Purpose:** Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, greenwaste, soil, concrete, asphalt, paper, cardboard, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421

at: <https://www.vcpublicworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>  
Further, the 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum of 65% diversion of construction and demolition materials from landfill disposal.

**Requirement:** The Permittee must submit a comprehensive recycling plan (Form B – Recycling Plan) to the IWMD for any proposed construction and/or demolition projects that require a building permit.

**Documentation:** The Form B – Recycling Plan must ensure a minimum of 65% of the recyclable C&D debris generated by the project will be diverted from the landfill by recycling, reuse, or salvage. A copy of Form B is available at:  
<http://onestop.vcpublicworks.org/integrated-waste-management-forms>.

A comprehensive list of permitted recyclers, County-franchised haulers, and solid waste & recycling facilities in Ventura County is available at: <http://onestoppermit.ventura.org/>.

A list of local facilities permitted to recycle soil, wood, and greenwaste is available at:

<https://www.vcpublishworks.org/wsd/iwmd/businessRecycling/#GreenWasteProcessing>

A complete list of County-franchised solid waste haulers is available at:

<https://www.vcpublishworks.org/wsd/iwmd/construction/#solid-waste-collectors>

**Timing:** Upon Building and Safety Division's issuance of a building permit for the project, the Permittee must submit a Form B – Recycling Plan to the IWMD for approval.

**Monitoring and Reporting:** The Permittee is required to keep a copy of their approved Form B – Recycling Plan until Building and Safety Division's issuance of final permit.

19. Construction & Demolition Debris Reporting Form (Form C)

**Purpose:** Ordinance 4421 requires the Permittee to divert recyclable construction and demolition (C&D) materials generated by their project (e.g., wood, metal, greenwaste, soil, concrete, paper, cardboard, plastic containers, etc.) from local landfills through recycling, reuse, or salvage. Review Ordinance 4421 at:

<http://onestop.vcpublishworks.org/integrated-waste-management-laws-ordinances>.

The 2016 California Green Building Code Sections 4.408 and 5.408 require a minimum of 65% diversion of construction and demolition materials from landfill disposal.

**Requirement:** The Permittee must submit a Form C – Reporting Form to the IWMD for approval upon issuance of their final Building and Safety Division permit. A copy of Form C – Reporting Form is available at

<https://www.vcpublishworks.org/wsd/iwmd/businessrecycling/#GreenWasteProcessing>

**Documentation:** The Permittee must submit original recycling facility receipts and/or documentation of reuse with their Form C – Reporting Form to verify a minimum of 65% of the recyclable C&D debris generated by their project was diverted from the landfill.

**Timing:** A completed Form C – Reporting Form, with required recycling facility receipts and/or documentation or reuse, must be submitted to the IWMD for approval at the time of Building and Safety Division's issuance of final permit.

**Monitoring & Reporting:** The Permittee is required to keep a copy of their approved Form C – Reporting Form until Building and Safety Division's issuance of final permit.

**Watershed Protection District (WPD) Conditions**

County Stormwater Program Section

20. Compliance with Stormwater Development Construction Program

**Purpose:** To ensure compliance with the Los Angeles Regional Water Quality Control Board NPDES Municipal Stormwater Permit No.CAS004002 (Permit) the proposed project will be subject to the construction requirements for surface water quality and

storm water runoff in accordance with Part 4.F., "Development Construction Program" of the Permit.

**Requirement:** The construction of the proposed project shall meet requirements contained in Part 4.F. "Development Construction Program" of the Permit through the inclusion of effective implementation of the Construction BMPs during all ground disturbing activities.

**Documentation:** The Permittee shall submit to the Watershed Protection District – County Stormwater Program Section (CSP) for review and approval a completed and signed SW-1 form (Best Management Practices for Construction Less Than One Acre) which can be found at <http://onestop.vcpublishworks.org/stormwater-forms>.

**Timing:** The above listed item shall be submitted to the CSP for review and approval prior to issuance of a Zoning Clearance for Construction.

**Monitoring and Reporting:** CSP will review the submitted materials for consistency with the NPDES Municipal Stormwater Permit. Building Permit Inspectors will conduct inspections during construction to ensure effective installation of the required BMPs.

## **OTHER VENTURA COUNTY AGENCIES**

### **Ventura County Air Pollution Control District (APCD) Conditions**

#### **21. VCAPCD Rules and Regulations for Grading and Construction**

**Purpose:** In order to ensure that fugitive dust and particulate matter related to project development are minimized to prevent impacts on adjacent properties.

**Requirement:** The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust). The Permittee may be required to prepare and submit an Air Emissions Mitigation Plan for Dust Control to VCAPCD. The Air Emissions Mitigation Plan for Dust Control shall also be part of any construction contract for the site grading.

**Documentation:** The Plan shall include the following elements:

- a. the area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- b. pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water (preferably reclaimed, if available) should penetrate sufficiently to minimize fugitive dust during grading activities;

- c. fugitive dust produced during grading, excavation, and construction activities shall be controlled by the following activities:
- (1) All trucks shall cover their loads as required by California Vehicle Code § 23114.
  - (2) Fugitive dust throughout the construction site shall be controlled by the use of a watering truck or equivalent means, generally at least three times a day (except during and immediately after rainfall). Water shall be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally-safe dust control agents may be used in lieu of watering.
  - (3) Re-vegetate or apply APCD-approved chemical soil stabilizers to all inactive portions of the construction site that are inactive for four or more days.
  - (4) Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, the area should be hydro-seeded and watered until growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.
  - (5) Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
  - (6) All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour.) During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to impact adjacent properties), all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite. The site superintendent or supervisor shall use their discretion in determining when winds are excessive. Based on their independent judgment and as part of their regular site inspection responsibilities, Public Works and/or APCD inspectors will require that the site superintendent and/or supervisor shall halt all such activities if it they determine the fugitive dust is impacting adjacent properties;

- d. adjacent streets and roads shall be swept at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets and roads;
- e. personnel involved in grading operations, including contractors and subcontractors, should be advised to wear respiratory protection in accordance with California Division of Occupational Safety and Health regulations; and,
- f. signs displaying the APCD Complaint Line Telephone number for public complaints shall be posted on the site: (805) 645-1400 during business hours and (805) 654-2797 after hours.

**Timing:** The Permittee shall submit an Air Emissions Mitigation Plan for Dust Control as part of and on the grading plans to be reviewed and approved by the APCD and Public Works Agency. The Plan shall be approved prior to the issuance of grading permits.

**Monitoring and Reporting:** Public Works Agency inspectors shall field-monitor all dust control measures during grading activities. The approved grading plans, including the Air Emissions Mitigation Plan for Dust Control, shall be kept onsite in an easily accessible location until final grading inspections are complete.

## 22. Fugitive Dust

**Purpose:** To ensure that fugitive dust and particulate matter that may result from site preparation and construction activities are minimized to the greatest extent feasible.

**Requirement:** The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include, but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), and Rule 55 (Fugitive Dust).

**Documentation:** The Permittee shall ensure compliance with the following provisions:

- I. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust;
- II. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavation operations. Application of water should penetrate sufficiently to minimize fugitive dust during grading activities;
- III. All trucks shall cover their loads as required by California Vehicle Code §23114.
- IV. Fugitive dust throughout the site shall be controlled by the use of a watering truck or equivalent means (except during and immediately after rainfall). Water shall

be applied to all unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site. Environmentally safe dust control agents may be used in lieu of watering.

- V. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods, such as water and roll compaction, and environmentally safe dust control materials, shall be periodically applied to portions of the construction site that are inactive for over four days.
- VI. Signs shall be posted onsite limiting traffic to 15 miles per hour or less.
- VII. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., wind speed sufficient to cause fugitive dust to be a nuisance or hazard to adjacent properties). During periods of high winds, all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust created by onsite activities and operations from being a nuisance or hazard, either offsite or onsite.

**Timing:** Throughout the construction phases of the project.

**Reporting and Monitoring:** Construction permits are issued by Public Works Agency and inspector shall perform periodic site inspections throughout the construction period. Monitoring and Enforcement of dust-related provisions shall also be conducted by APCD staff on a complaint-driven basis.

### 23. Air Contaminants

**Purpose:** To ensure that discharge of air contaminants that may result from site operations are minimized to the greatest extent feasible.

**Requirement:** Facility shall be operated in accordance with the Rules and Regulations of the Ventura County Air Pollution Control District, with emphasis on Rule 51, Nuisance.

**Documentation:** The Permittee shall ensure compliance with the following provision:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance or annoyance to any considerable number of persons or to the public or which endangers the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to business or property.

**Timing:** Throughout the life of the permit.

**Reporting and Monitoring:** Monitoring and Enforcement of the Nuisance Rule shall be conducted by APCD staff during compliance inspections and on a complaint-basis.

### **Ventura County Fire Protection District (VCFPD) Conditions**

#### 24. Fire Department Clearance

**Purpose:** To provide the Permittee a list of all applicable fire department requirements for their project.

**Requirement:** The Permittee shall obtain VCFD Form #610 "Requirements for Construction" for any new structures or additions to existing structures before issuance of building permits.

**Documentation:** A signed copy of the Ventura County Fire Protection District's Form #126 "Requirements for Construction."

**Timing:** The Permittee shall submit VCFPD Form #610 Application to the Fire Prevention Bureau for approval before issuance of building permits.

**Monitoring and Reporting:** A copy of the completed VCFPD Form #610 shall be kept on file with the Fire Prevention Bureau. The Fire Prevention Bureau will conduct a final on-site inspection of the project to ensure compliance with all conditions and applicable codes / ordinances.